



To: Fulton Neighborhood  
Land Use and Zoning Committee  
Attn: Jim Miller

From: Tim Brown  
Schaeffco Development, LLC

Date: August 30, 2019

RE: 5217, 5121 and 5129 France Ave South – Redevelopment '51 France'

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Dear Jim,

Please accept this Project Narrative relating to our proposed redevelopment of the properties located at 5117, 5121 and 5129 France Ave South, Minneapolis into a new seventeen-unit condominium project.

1. General Description:

Schaeffco Development, LLC, acting as both the developer and builder, is planning the seventeen-unit condo project to be called "51 France" (the "Project") which will redevelop the 29,232 square foot properties. The property is comprised of three separate lots, one- and one-half blocks south of the 50<sup>th</sup> and France Intersection.

Over the past few months we have been working with the families that own the properties, our site planning and architecture partners and the city of Minneapolis to prepare an application for a legacy residential landmark for this location. We have met with city planning staff on a few occasions to present potential options for redevelopment scenarios that would be consistent with both the 2030 and 2040 Comprehensive Plans.

Given the location of the site, the adjacency to 50<sup>th</sup> and France and the market demand for this product, we are advancing with the included proposed condominium Project.

France Ave in this location was designated as a Community Corridor within the 2030 Comprehensive Plan and then within the 2040 Plan, the designation is Urban Neighborhood (Land Use) and Corridor 3 (Built Form). Both the 2030 and 2040 plan

recognize a guide for increased density allocations with housing product considerations. With the adjacency of the site to the activity center of 50<sup>th</sup> and France we have designed a building to be commensurate with the location, the interaction of the building within the community and in a size that will represent the location.

Given the site size and overall width of the properties, we are able to utilize a below ground parking structure to be accessed from a single driveway along the north property line. The building will include a total of four stories and include an articulated façade to move the building in and out of the horizontal setback areas. We have also taken the 4<sup>th</sup> floor and set it back from the lower level floors to create a relief as the building goes vertical.

The below ground parking structure will include all of the needed parking for the building.

In order to create the framework for the Project from a zoning perspective, the proposed use will require a rezoning from R1 to R4, which is consistent with the comprehensive guide plan. Under the R4 – the seventeen-unit density is below the allowed allocation. The Project Floor Area Ratio will meet the requirements of the allowable 1.8x (R4 = 1.5x + 20% Parking Bonus). The Project as designed will include a total of 52,589 sf of ‘floor area’ establishing a FAR of 1.80x.

The R4 District allows for four stories and 56’ in building height. With the 2040 Comp Plan – and the Corridor 3 designation, the comp plan discusses three stories but allows for increases in height in certain areas and conditions. Given the location and proximity features of the 50<sup>th</sup> and France impacts, we have included the 4<sup>th</sup> floor, and remain within the 56’ overall height requirements, with the consideration of the 4<sup>th</sup> floor setbacks to make an attempt to mitigate certain height impacts.

The R4 district setbacks allow for 15’ front yard and with four stories, 11’ for the sides and rear. This Project complies with these setbacks. However, given the adjacency to residential districts and established setbacks of existing homes, the Project will also include a variance request for maintaining the district 15’ front yard setback. The south east corner of the property contains a 10.9’ inset. In this area, we have made certain adjustments to the building to increase the setbacks of the building from the property line, however this portion of the site is set at a setback of 10.4’. This is less than the 11’ requirement by 7”. This condition extends for approximately 36’ along the rear property line. The balance of the building is set back from the rear property line by 19.8’ which is in excess of the required about by over 8’. As such, this condition will also include a requested variance.

In the discussion with the city planning staff, given the pending approval of the 2040 Plan, this land use application, when it works through the city process will be reviewed under

the 2040 Plan context. Given that, we will be including a conditional use permit application in regard to the 4<sup>th</sup> floor.

Our plan is to submit for the PDR and Land Use Applications in late September.

We have included the current Architectural and Site plans for the Project as well as architectural renderings to better depict the detailing of the Project.

#### BUILDING PLANS:

The included architectural plans present the details of the overall condo Project.

The exterior products to be used include a stone veneer at the first floor, then stucco on the majority of the remaining building façade. We will be utilizing roof access from the stairs and from private access points from the 4<sup>th</sup> floor units to allow roof top terrace areas.

#### ARCHITECTURAL RENDERINGS:

The renderings depict the project in its color and material texture components.

#### SITE AND LANDSCAPE PLAN:

The included site plans depict current conditions as well as proposed placement of the building within the R4 zoning district setbacks.

The site plan shows an infiltration basin in the north west corner, we are currently designing a substructure or below ground infiltration system that will allow all of the site storm water control to be managed below ground. The entire roof structure will drain to this front yard storm water facility, no other water from the building structure will be directed in any other direction.

The grading plan and the landscape plan are also included for reference.

## 2. Summary:

We are very excited to bring this landmark project and housing opportunity to the neighborhood. Our hopeful timeline will be to submit our applications for PDR and Land Use to the city in late September.

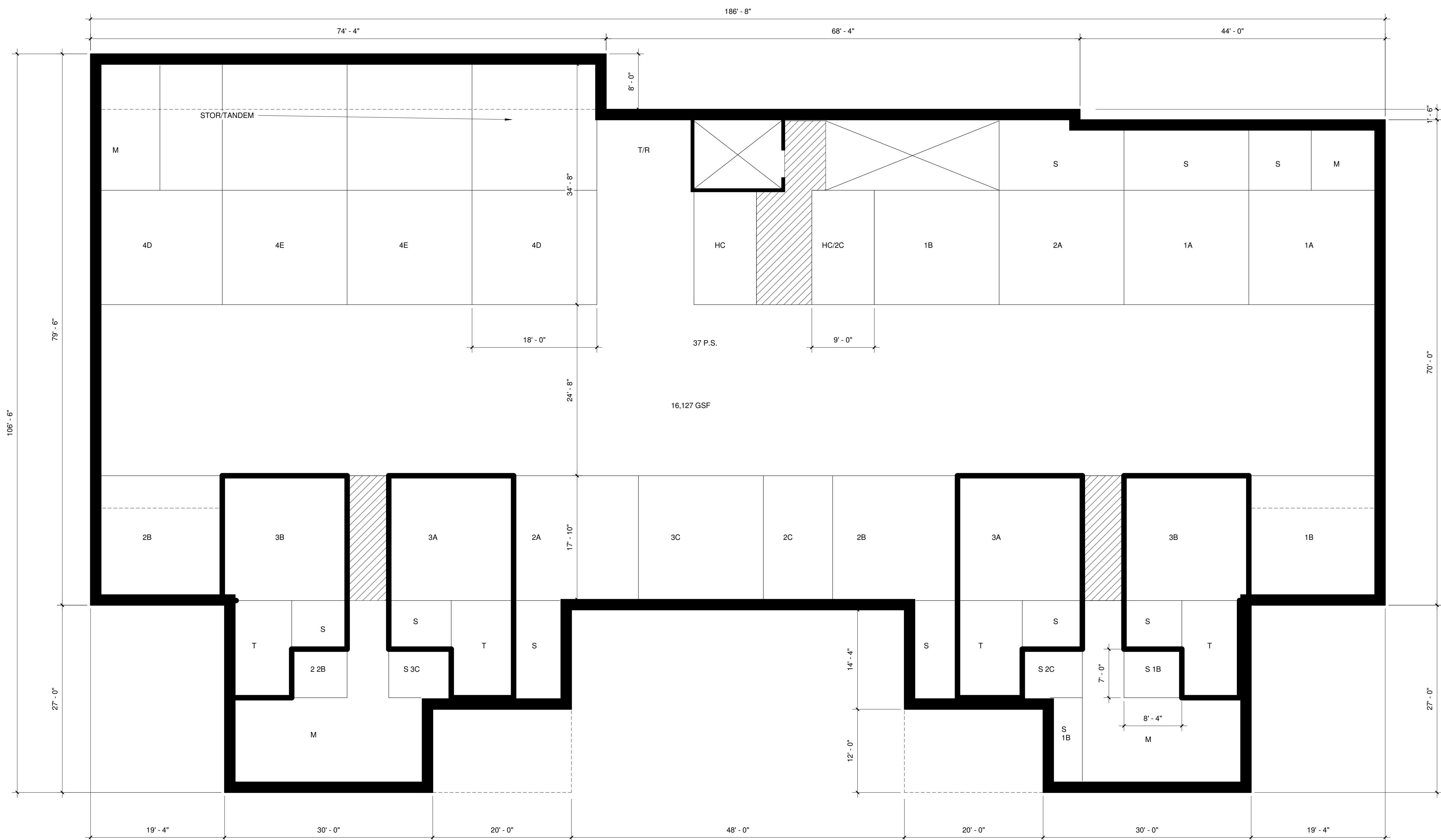
Along with our project located at 5337 France Ave, we recognize the fact that these projects represent a significant change within the neighborhood and the beginning of the evolution of change along France Ave. We look forward to discussing our project and this evolution.

Thank you for your time and consideration in review of our project. We are excited about the opportunity to bring the project to reality and feel it will be a unique and positive addition to the community.

I am planning to attend the Zoning Committee Meeting on September 9<sup>th</sup>. If there is anything with regard to questions or information that is desired in advance of that meeting, please let me know and we will work to address the requests.

Timothy J Brown  
Schaefer Development, LLC  
[tim@schaefer.com](mailto:tim@schaefer.com)

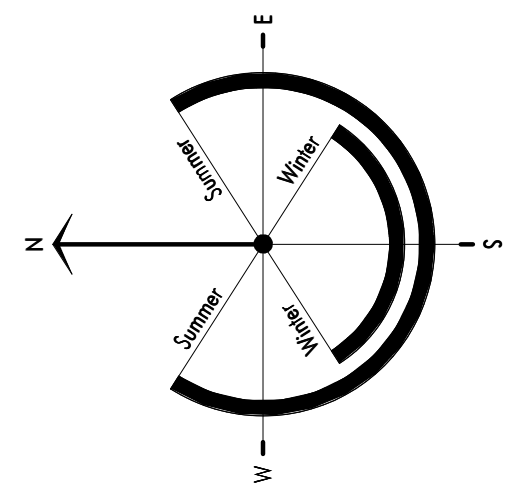




SCHAEFCO DEVELOPMENT

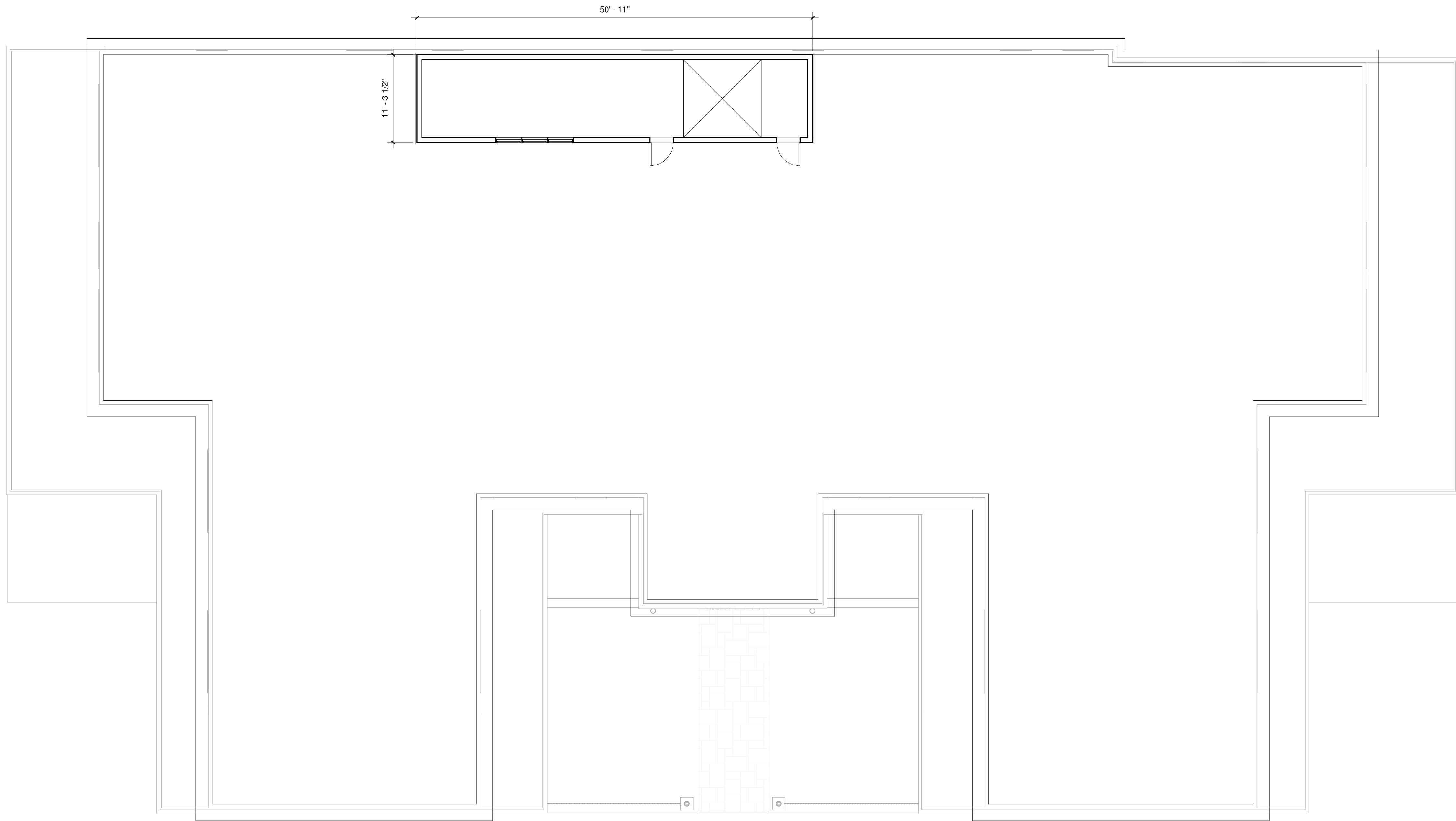
PARKING LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



Fifty-One

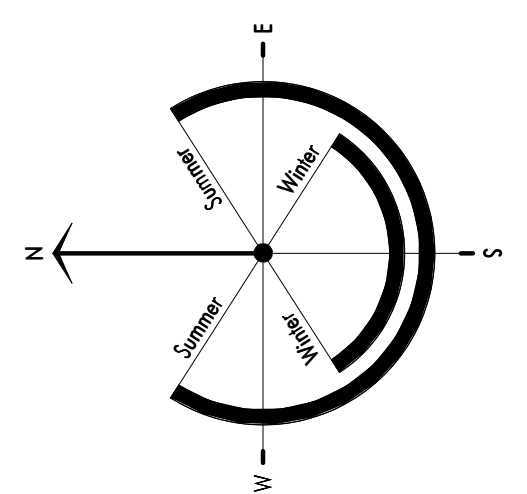
DRAWING: A-01



SCHAEFCO DEVELOPMENT

ROOF LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



Fifty-One

DRAWING: A-05



EXTERIOR MATERIALS TOTAL ALL ELEVATIONS		
MATERIAL	AREA SqFt	PERCENTAGE
CORNICE	1892 SF	5%
METAL	1513 SF	4%
STONE	6773 SF	19%
STUCCO	17096 SF	48%
WINDOWS AND DOORS	8262 SF	23%
Grand total: 40	35536 SF	100%

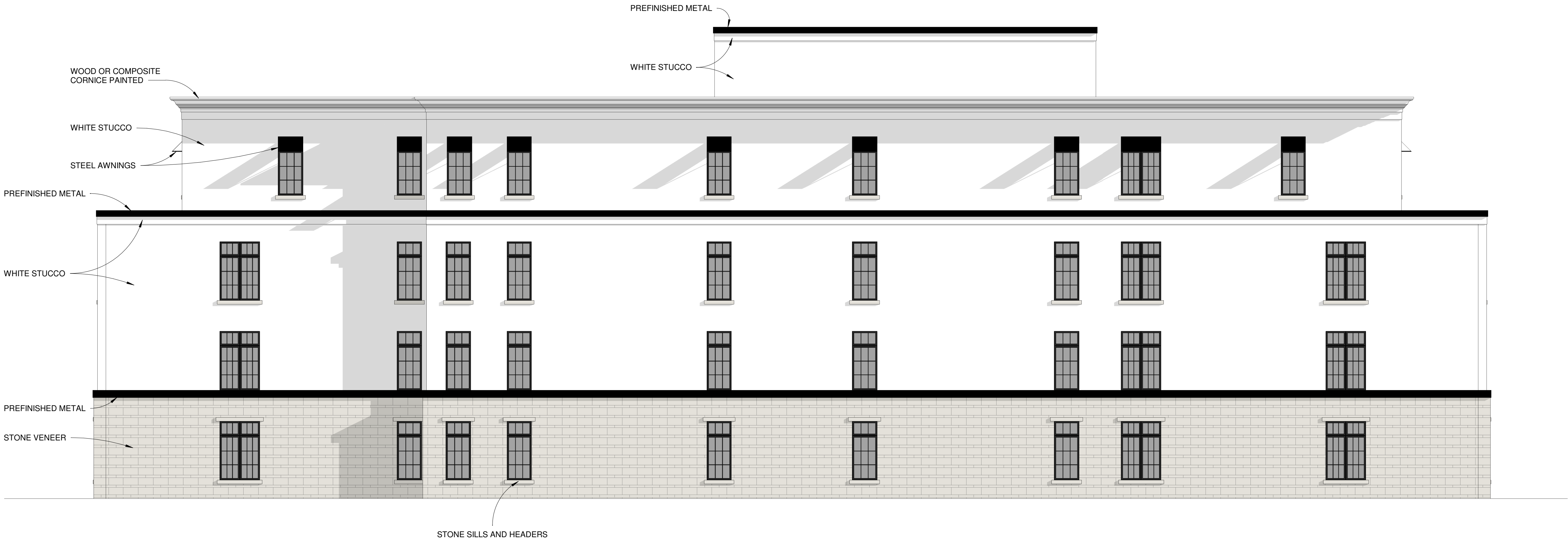
EXTERIOR MATERIALS - WEST			
SIDE	MATERIAL	AREA	PERCENTAGE
WEST	CORNICE	490 SF	5%
WEST	METAL	506 SF	5%
WEST	STONE	1222 SF	12%
WEST	STUCCO	3629 SF	36%
WEST	WINDOWS AND DOORS	4264 SF	42%
Grand total: 5		10111 SF	100%



EXTERIOR MATERIALS - NORTH			
SIDE	MATERIAL	AREA	PERCENTAGE
NORTH	CORNICE	294 SF	6%
NORTH	METAL	204 SF	4%
NORTH	STONE	1186 SF	23%
NORTH	STUCCO	2624 SF	50%
NORTH	WINDOWS AND DOORS	947 SF	18%
Grand total: 5		5255 SF	100%



EXTERIOR MATERIALS - SOUTH			
SIDE	MATERIAL	AREA	PERCENTAGE
SOUTH	CORNICE	294 SF	6%
SOUTH	METAL	204 SF	4%
SOUTH	STONE	1186 SF	23%
SOUTH	STUCCO	2624 SF	50%
SOUTH	WINDOWS AND DOORS	947 SF	18%
Grand total: 5		5255 SF	100%

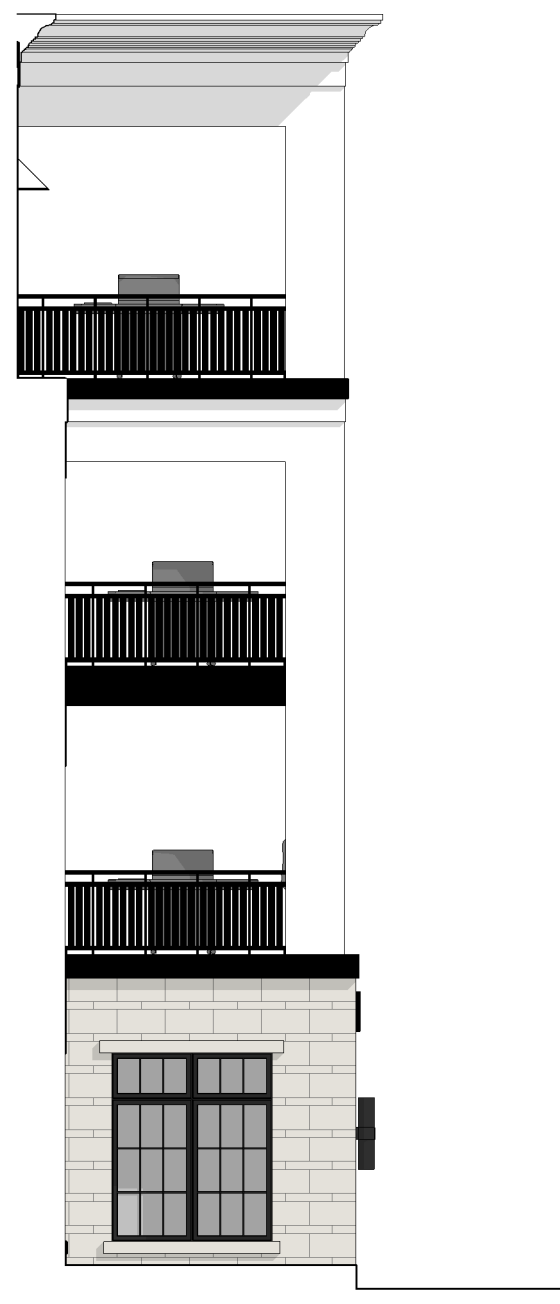


EXTERIOR MATERIALS - EAST			
SIDE	MATERIAL	AREA	PERCENTAGE
EAST	CORNICE	490 SF	5%
EAST	METAL	385 SF	4%
EAST	STONE	2277 SF	23%
EAST	STUCCO	5859 SF	58%
EAST	WINDOWS AND DOORS	1100 SF	11%
Grand total: 5		10111 SF	100%



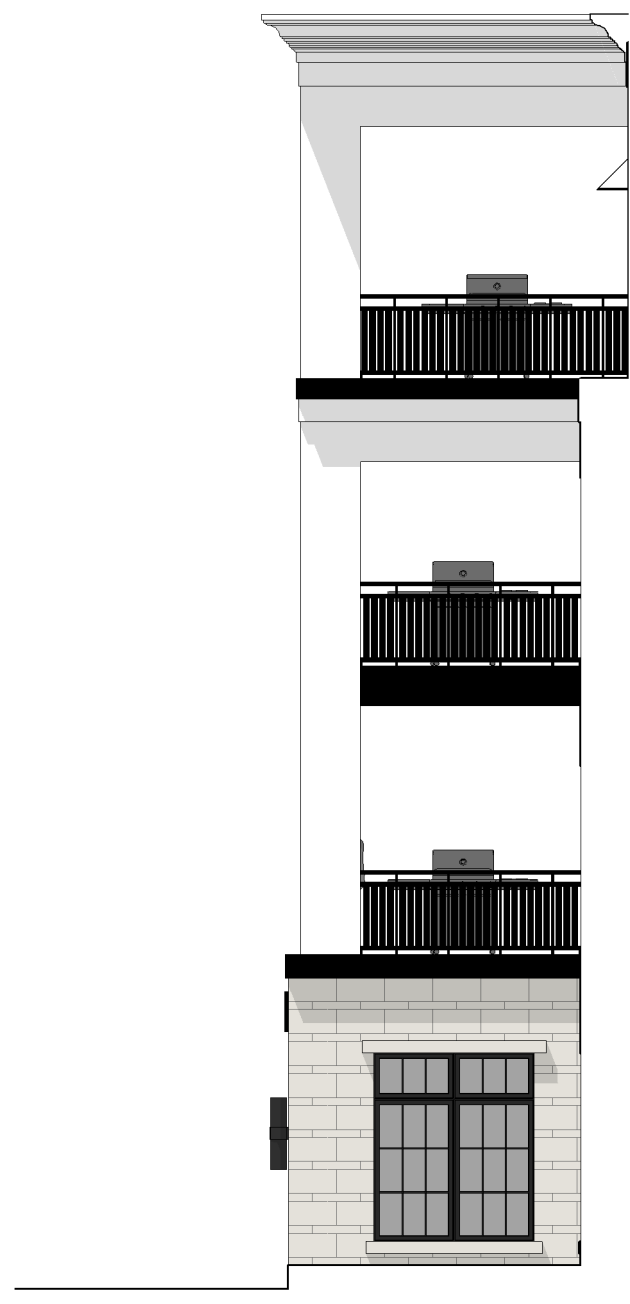
1 05 - Partial Side Elevation 1  
scale: 1/8" = 1'-0"

EXTERIOR MATERIALS - PARTIAL 1			
SIDE	MATERIAL	AREA	PERCENTAGE
E1	CORNICE	121 SF	6%
E1	METAL	70 SF	3%
E1	STONE	357 SF	17%
E1	STUCCO	1048 SF	51%
E1	WINDOWS AND DOORS	450 SF	22%
Grand total: 5		2046 SF	100%



2 06 - Partial Side Elevation 2  
scale: 1/8" = 1'-0"

EXTERIOR MATERIALS - PARTIAL 2			
SIDE	MATERIAL	AREA	PERCENTAGE
E2	CORNICE	41 SF	12%
E2	METAL	37 SF	10%
E2	STONE	94 SF	26%
E2	STUCCO	132 SF	37%
E2	WINDOWS AND DOORS	52 SF	15%
Grand total: 5		356 SF	100%



3 07 - Partial Side Elevation 3  
scale: 1/8" = 1'-0"

EXTERIOR MATERIALS - PARTIAL 3			
SIDE	MATERIAL	AREA	PERCENTAGE
E3	CORNICE	41 SF	12%
E3	METAL	37 SF	10%
E3	STONE	94 SF	26%
E3	STUCCO	132 SF	37%
E3	WINDOWS AND DOORS	52 SF	15%
Grand total: 5		356 SF	100%



4 08 - Partial Side Elevation 4  
scale: 1/8" = 1'-0"

EXTERIOR MATERIALS - PARTIAL 4			
SIDE	MATERIAL	AREA	PERCENTAGE
E4	CORNICE	121 SF	6%
E4	METAL	70 SF	3%
E4	STONE	357 SF	17%
E4	STUCCO	1048 SF	51%
E4	WINDOWS AND DOORS	450 SF	22%
Grand total: 5		2046 SF	100%





SCHAEFCO DEVELOPMENT

3D VIEW

SCALE:

Fifty-One

DRAWING: A-11





SCHAEFCO DEVELOPMENT

3D VIEW

SCALE :

Fifty-One

DRAWING: A-12



SCHAEFCO DEVELOPMENT

3D VIEW

SCALE:

Fifty-One

DRAWING: A-13





SCHAEFCO DEVELOPMENT

3D VIEW

SCALE :

Fifty-One

DRAWING: A-14



SCHAEFCO DEVELOPMENT

SECTION

SCALE: 1/8" = 1'-0"

Fifty-One

DRAWING: A-15

# 5100 FRANCE AVENUE

MINNEAPOLIS, MINNESOTA

ISSUED FOR: PDR SUBMITTAL



PROJECT  
**5100 FRANCE AVENUE**

MINNEAPOLIS, MN 55410

**SCHAEFCO DEVELOPMENT**  
2116 2ND AVENUE SOUTH, MINNEAPOLIS, MN 55404

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

  
Matthew R. Pavlek  
DATE 08/23/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
08/23/19	FOR SUBMITTAL

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
C5.3	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE

DRAWN BY: KB, ND REVIEWED BY: PJS  
PROJECT NUMBER: 19203

REVISION SUMMARY	
DATE	DESCRIPTION

TITLE SHEET

**C0.0**

DEVELOPER / PROPERTY OWNER:

SCHAEFCO DEVELOPMENT  
2116 2ND AVENUE SOUTH  
MINNEAPOLIS, MN 55404  
612-254-7444

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP  
4931 W 35TH STREET  
SUITE 200  
ST LOUIS PARK, MN 55416  
612-615-0060

SURVEYOR:


























CIVIL SITE GROUP  
4931 W 35TH STREET  
SUITE 200  
ST LOUIS PARK, MN 55416  
612-615-0060

GEOTECHNICAL ENGINEER:

TBD

MASTER LEGEND:

----- 1125 -----	EX. 1' CONTOUR ELEVATION INTERVAL
× 1137.12	EXISTING SPOT GRADE ELEVATION
----- 1137 -----	1.0' CONTOUR ELEVATION INTERVAL
41.26	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
891.00 G	SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP)
891.00 TC	SPOT GRADE ELEVATION TOP OF WALL
891.00 BS/TS	SPOT GRADE ELEVATION BOTTOM OF WALL
→	DRAINAGE ARROW
-----	SILT FENCE / BIOROLL - GRADING LIMIT
□	INLET PROTECTION
▨	STABILIZED CONSTRUCTION ENTRANCE
SB-1	SOIL BORING LOCATION
TO	CURB AND GUTTER (T.O = TIP OUT)

	PROPOSED MANHOLE STORM
	PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE SANITARY
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND CABLE
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING STOPBOX
	EXISTING GATE VALVE
	EXISTING ELECTRIC BOX
	EXISTING LIGHT
	EXISTING GAS METER
	EXISTING GAS VALVE



Know what's below.  
Call before you dig.



5117, 5121, and 5129

France Ave S, Minneapolis, MN 55410

Schaefer Development, LLC

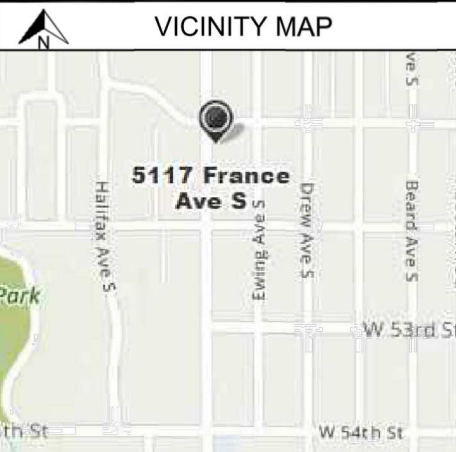
2116 2nd Ave S, Minneapolis, MN 55404

PROJECT

CLIENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELLEN  
DATE 7-24-19 LICENSE NO. 44565



REVISION SUMMARY	
DATE	DESCRIPTION

PROJECT NO.: 19203

ALTA/NSPS LAND  
TITLE SURVEY

V1.0

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#### DESCRIPTION OF PROPERTY SURVEYED

Lot 10, Evelyn's Addition to Minneapolis, Hennepin County, Minnesota.

Abstract Property.

Parcel 1:

Lot 7 and the South 21.94 feet of Lot 8, Evelyn's Addition to Minneapolis, and the North 1/2 of Lots 13, 14 and 15, Block 2, Lake Harriet Rearrangement of Lot 5, Bull's Subdivision of the Northwest 1/4 of the Southwest 1/4 of Section 17, Township 28 N, Range 24 West, Hennepin County, Minnesota.

Parcel 2:

Lot 9 and North 21.94 feet of Lot 8, Evelyn's Addition to Minneapolis, Hennepin County, Minnesota.

Abstract Property.

#### ALTA/NSPS Land Title Survey Notes (numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Site Address: 5117, 5121 and 5129 France Ave S, Minneapolis, MN 55410.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0352F, effective date of November 4, 2016.
- The Gross land area is 29,232 +/- square feet or 0.671 +/- acres.
- Elevations are based on the NGVD 29 datum. Site Benchmark is the sanitary manhole rim located 50 feet SW of the NW property corner, having an elevation of 884.11 feet.
- The current Zoning for the subject property was not provided.
- Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- We did not observe any striped parking stalls on subject property.
- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS.

#### SURVEY REPORT

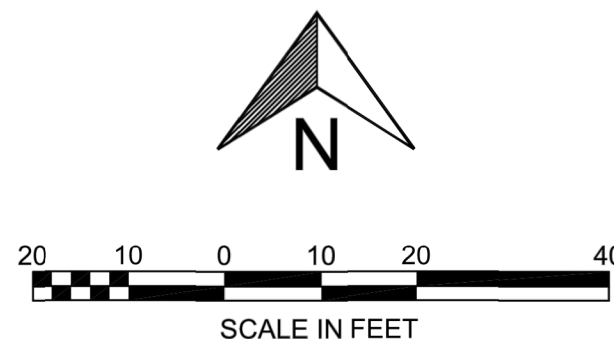
- This map and report was prepared with the benefit of a 2 Commitments for Title Insurance issued by Stewart Title Guaranty Company, as agent for Custom Home Builders Title, LLC, File No.'s. HB-39747 and HB-39874, dated May 14, 2019.
  - We note the following with regards to Schedule B of the herein referenced Title Commitment, File No. HB-39747:
    - Item no.'s 1-11 are not survey related
  - We note the following with regards to Schedule B of the herein referenced Title Commitment, File No. HB-39874:
    - Item no.'s 1-9 are not survey related.
- Conflicts such as (but not limited to): encroachments, protrusions, access, occupation, and easements and/or servitudes:
  - Please note that there is an overhead power line over the east portion of subject property without an easement. As shown hereon.

#### ALTA CERTIFICATION

To: Beverly Haroldson (Parcel 1); Beverly A. Haroldson; 5117 France, LLC, a corporation under the laws of Minnesota; Schaefer Development, LLC; and Stewart Title Guaranty Company, as agent for Custom Home Builders Title, LLC;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 8, 9, 11, and 13 of Table A thereof. The field work was completed on July 23, 2019. Dated this 23rd day of July, 2019.

Rory L. Synstelen  
rory@civilsitegroup.com  
Minnesota License No. 44565



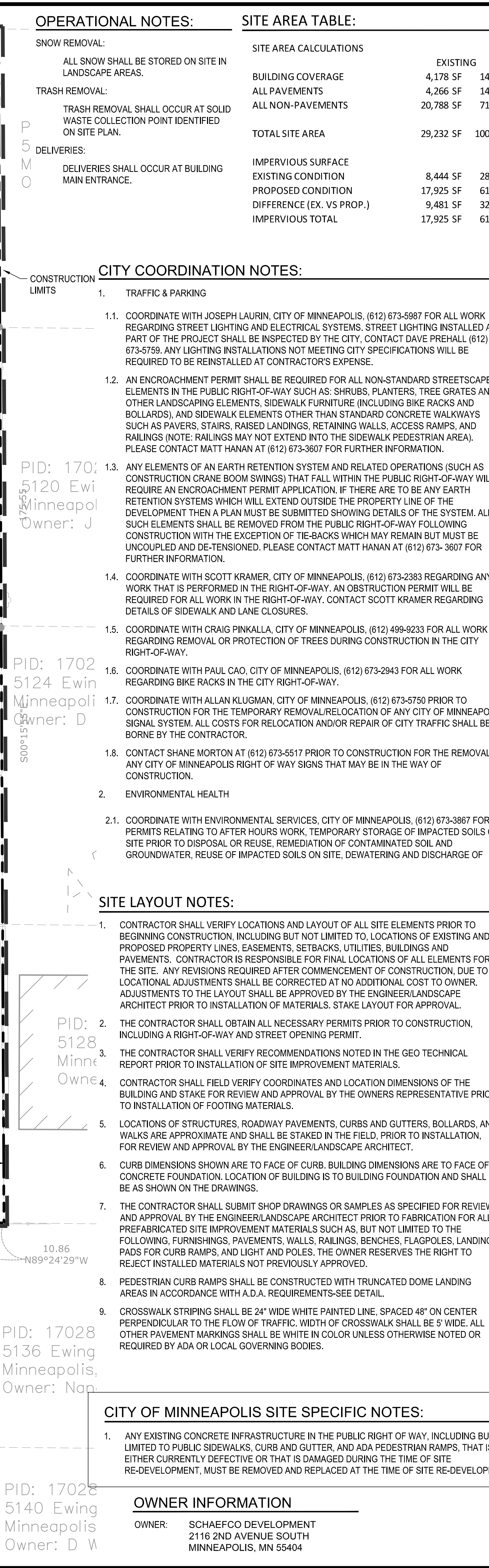
#### Linetype & Symbol Legend

FO	FIBER OPTIC	⊕	SIGN	⊠	AIR CONDITIONER
— GAS —	GASMAIN	⊕	UTILITY MANHOLE	⊕	BOLLARD
— WATERMAIN —	WATERMAIN	⊕	SANITARY MANHOLE	⊕	ELECTRIC MANHOLE
— SANITARY SEWER —	SANITARY SEWER	⊕	STORM MANHOLE	⊕	FLAG POLE
— STORM SEWER —	STORM SEWER	⊕	CATCH BASIN	⊕	FLARED END SECTION
— OVERHEAD UTILITIES —	OVERHEAD UTILITIES	⊕	ROOF DRAIN	⊕	GAS VALVE
TEL	TELEPHONE LINE	⊕	TELEPHONE BOX	⊕	HANDICAP SYMBOL
ELE	ELECTRIC LINE	⊕	TELEPHONE MANHOLE	⊕	HYDRANT
CTV	CABLE LINE	⊕	ELECTRIC TRANSFORMER	⊕	WATER MANHOLE
— CHAINLINK FENCELINE —	CHAINLINK FENCELINE	⊕	TRAFFIC SIGNAL	⊕	WATER VALVE
— WOODEN FENCELINE —	WOODEN FENCELINE	⊕	CABLE TV BOX	⊕	POWER POLE
— GUARDRAIL —	GUARDRAIL	⊕	ELECTRICAL METER	⊕	GUY WIRE
CONCRETE SURFACE	CONCRETE SURFACE	⊕	GAS METER	⊕	CONIFEROUS TREE
PAVER SURFACE	PAVER SURFACE	⊕	FOUND IRON MONUMENT	⊕	DECIDUOUS TREE
BITUMINOUS SURFACE	BITUMINOUS SURFACE	⊕	SET IRON MONUMENT	⊕	
GRAVEL/LANDSCAPE SURFACE	GRAVEL/LANDSCAPE SURFACE	⊕	CAST IRON MONUMENT	⊕	



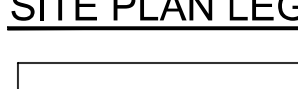
© COPYRIGHT 2018 CIVIL SITE GROUP, INC.






	PROPOSED	
0.3%	15,532 SF	53.1%
0.6%	2,393 SF	8.2%
0.1%	11,307 SF	38.7%
0.0%	29,232 SF	100.0%
0.9%		
0.3%	17,925 SF	61.3%
0.3%		
<p>ACCUMULATED STORM WATER OR GROUND WATER TO CITY SEWERS, FLAMMABLE WA TRAPS, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WEL CONSTRUCTION OR SEALING, OR ON-SITE ROCK CRUSHING.</p>		
2.2.	NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDER HOLIDAYS, EXCEPT UNDER PERMIT.	
2.3.	IF CONTAMINATED SOIL IS ENCOUNTERED, IT MUST BE REPORTED TO THE MINNESOTA OFFICER AT (651) 649-5451. PREAPPROVAL FOR REMOVAL OR REUSE MUST OCCUR FROM MPICA AND THE CITY OF MINNEAPOLIS.	
2.4.	IF IMPACTED SOIL IS ENCOUNTERED DURING SITE ACTIVITIES WORK WILL NEED TO STOP AND NOTIFICA PROVIDED TO THE MN STATE DUTY OFFICER AT (615) 649-5451.	
2.5.	THE HIGHEST GROUNDWATER LEVEL EXPECTED FOR THIS SITE SHOULD BE DETERMINED AND ESTABLISHING THE LOWEST LEVEL FOR SUBGRADE STRUCTURES. IF SOIL BORINGS DEEPER TI FEET MUST BE DONE A TEMPORARY ENVIRONMENTAL WELL PERMIT MUST BE OBTAINED BY ENVIRONMENTAL SERVICES. IF DEWATERING IS REQUIRED DURING SITE CONSTRUCTION SEE E FOR CITY PERMIT REQUIREMENTS. SUBGRADE STRUCTURES SHOULD BE DESIGNED TO PREVE INFILTRATION OF GROUNDWATER WITHOUT THE NEED FOR A PERMANENT DEWATERING SYSTEM BEING INSTALLED. IF A CONTINUOUSLY OPERATING PERMANENT DEWATERING SYSTEM IS NEE MUST BE APPROVED AS PART OF THE SANITARY SEWER AND STORM DRAIN SITE PLAN APPROV PRIOR TO CONSTRUCTION BEGINNING.	
2.6.	NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPI WITHIN THE CITY BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON WEEKDAYS OR DURING ANY H ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612-673-3516 FOR PERMIT INFORMATION.	
2.7.	PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTI TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED ON SITE, DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, TEMPORARY ENVIRONMENTAL WELLS, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT 612-673-5807 FOR PERMIT APPLICATIONS AND APPROVALS.	
3.	FORESTRY DEPARTMENT	
3.1.	TO PROTECT ROOT ZONES, NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE PL PLACED, PARKED, OR STORED ON ANY UNPAVED AREA WITHIN THE DRIP LINE OF ANY EX OWNED TREE. NO CHEMICALS OR PETROLEUM PRODUCTS SHALL BE DEPOSITED ON AN UNPAVED AREA IN THE CITY RIGHT-OF-WAY.	
3.2.	ANY TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT USING HAND TOOLS.	
3.3.	NO OPEN EXCAVATION OR BORE PITS ALLOWED WITHIN 8 FEET OF CITY STREET TREES	
3.4.	CARE SHALL BE TAKEN NOT TO DAMAGE TREE TRUNKS OR BRANCHES. CONTRACTOR N CONTACT FORESTRY DEPARTMENT INSPECTIONS (CRAIG PINKALLA) AT (612) 499-9233 LEAST 3 DAYS PRIOR TO STARTING WORK. TO DISCUSS PROBLEMS OF OVERHANGING BRANCHES THAT MAY BE DAMAGED.	
10.	SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL	
11.	ALL CURB RADI ARE MINIMUM 3' UNLESS OTHERWISE NOTED.	
12.	CONTRACTOR SHALL REFER TO FINAL PLAN FOR LOT BOUNDARIES, NUMBERS, AREAS A DIMENSIONS PRIOR TO SITE IMPROVEMENTS.	
13.	FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.	
14.	PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS N OTHERWISE.	
15.	ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.	
16.	BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEET FOR PAVEMENT SECTIONS.	
17.	ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.	


### SITE PLAN LEGEND:




BITUMINOUS PAVEMENT. SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.




CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. SEE DETAIL.




PROPERTY LINE




CONSTRUCTION LIMITS




CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN




TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS



SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED  
NC = ACCESSIBLE SIGN  
NP = NO PARKING FIRE LANE  
ST = STOP  
CP = COMPACT CAR PARKING ONLY



Know what's below.  
Call before you dig.



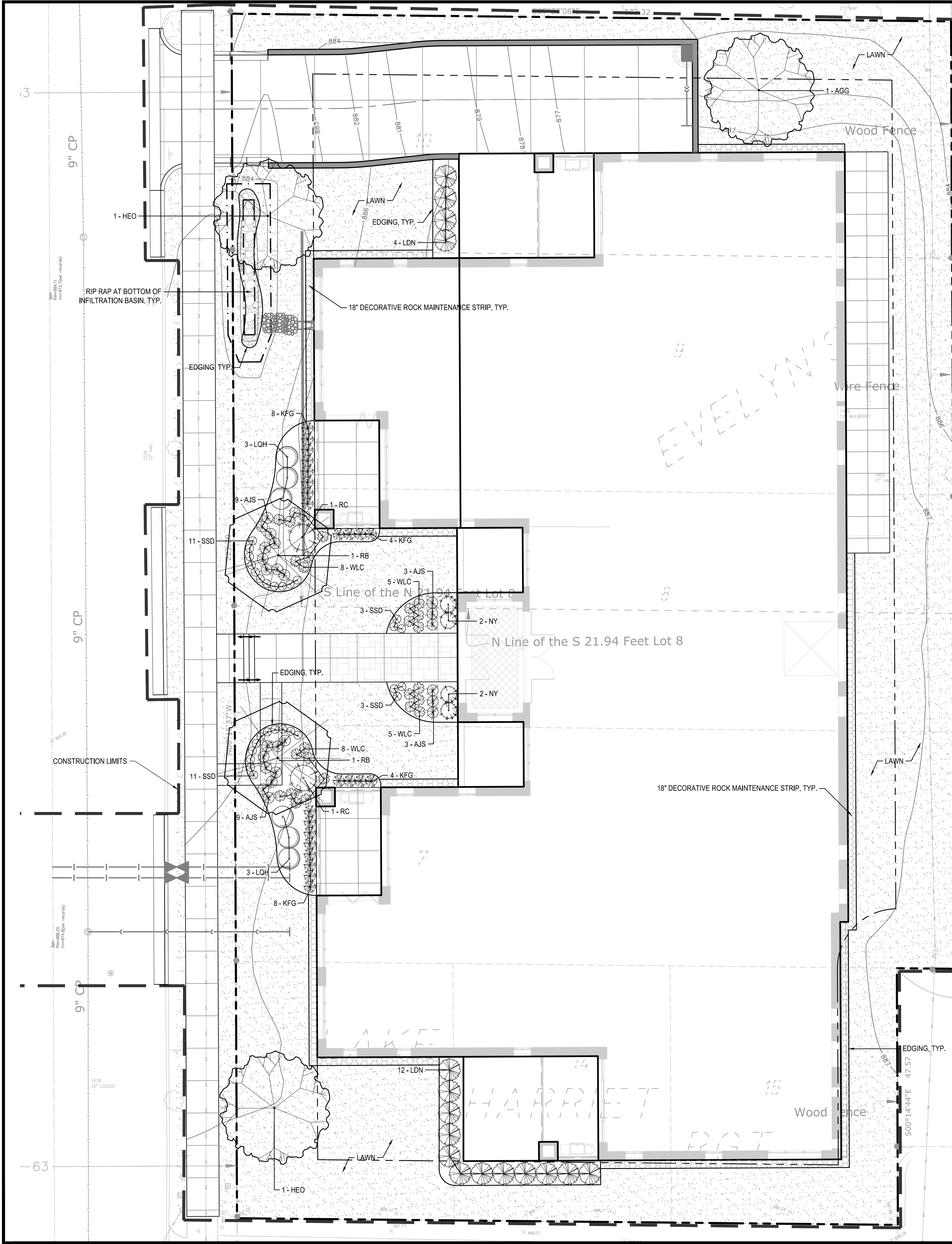
1" = 10'-0"  
5'-0" 0 10'-0"  
8/26/2014

[illegible]









PID: 1702824  
5116 Ewing A  
Minneapolis, MN  
Owner: Thoma

PID: 1702824  
5120 Ewing A  
Minneapolis, MN  
Owner: J C D

PID: 17028243  
5124 Ewing Av  
Minneapolis, MN  
Owner: D G To

PID: 1702824  
5128 Ewing A  
Minneapolis, MN  
Owner: Cl

PID: 170282432  
5136 Ewing Ave  
Minneapolis, MN  
Owner: Nancy B

PID: 17028243  
5140 Ewing Ave  
Minneapolis, MN  
Owner: D W Oli

LANDSCAPE CALCULATIONS:

PROPOSED LANDSCAPE AREA CALCULATION:  
SITE AREA - BUILDING COVERAGE = OPEN SPACE

$29,231.6 \text{ SF} - 15,532.0 \text{ SF} = 13,699.6 \text{ SF}$

20% OF OPEN SPACE = LANDSCAPE AREA

$20\% \times 13,699.6 \text{ SF} = 2,739.9 \text{ SF REQUIRED}$   
 $76\% \times 13,699.6 \text{ SF} = 10,397.6 \text{ SF PROVIDED}$

64.4% PROPOSED IMPERVIOUS RATIO

PROPOSED LANDSCAPE:  
1 TREE/ 500 SF OF "LANDSCAPE AREA"  
 $2,739.9 \text{ SF} / 500 = 5$  TREES REQUIRED  
SEE PLANT SCHEDULE

1 SHRUB/100 SF OR "LANDSCAPE AREA"  
 $2,739.9 \text{ SF} / 100 = 27.4$  SHRUBS REQUIRED  
SEE PLANT SCHEDULE

PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POLLINATOR FRIENDLY	NATIVE	COMMENTS
DECIDUOUS TREES								
HEO	2	HERITAGE ENGLISH OAK	Quercus x macdanielii 'Clemons'	2.5' CAL.	B&B		X	STRAIGHT LEADER, FULL FORM
AGG	1	AUTUMN GOLD GINKGO	Ginkgo biloba 'Autumn Gold'	2.5' CAL.	B&B			STRAIGHT LEADER, FULL FORM
RB	2	RIVER BIRCH	Betula nigra	2.5' CAL.	B&B		X	STRAIGHT LEADER, FULL FORM
SHRUBS - CONIFEROUS & EVERGREEN								
NY	4	NOVA YEW	Taxus cuspidata 'Nova'	24" HT.	CONT.			
RC	2	RUSSIAN CYPRESS	Microbiota decussata	24" HT.	CONT.		X	
LDN	16	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Donna May'	24" HT.	CONT.	X	X	
LQH	6	LITTLE QUICKFIRE HYDRANGEA	Hydrangea paniculata 'SMHPLQ'	24" HT.	CONT.	X	X	
PERENNIALS & GRASSES								
KFG	24	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	#1	CONT.			
SSD	28	STELLA SUPREME DAYLILY	Hemerocallis 'Stella Supreme'	#1	CONT.	X	X	
AJS	24	AUTUMN JOY SEDUM	Sedum 'Autumn Joy'	#1	CONT.	X	X	
WLC	26	WALKER'S LOW CATMINT	Nepeta x faassenii 'Walker's Low'	#1	CONT.	X	X	

LANDSCAPE NOTES:

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES. LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/ BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.
- CONTACT DON ZART AT (612)-673-2726 FOR COORDINATION REGARDING PARK DEDICATION FEES

POLLINATOR SAFE PLANT MATERIAL:

- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIACLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
- CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:

- ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING [HTTP://WWW.MINNEAPOLISMN.GOV/PUBLICWORKS/PLATES/INDEX.HTM](http://www.minneapolismn.gov/publicworks/plates/index.htm)).

LEGEND

- SHREDDED CYPRESS MULCH, SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- 1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC. SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN
- RIP-RAP. SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN

PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

EDGING

DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.



Know what's below.  
Call before you dig.



1" = 10'-0"  
5'-0" 0 10'-0"

8/26/2019 11:06 AM

PROJECT  
5100 FRANCE AVENUE

MINNEAPOLIS, MN 55410

SCHAEFCO DEVELOPMENT  
2116 2ND AVENUE SOUTH, MINNEAPOLIS, MN 55404

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Sarver

DATE 08/23/19 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION  
08/23/19 FOR SUBMITTAL

DRAWN BY: KB, ND REVIEWED BY: PJS  
PROJECT NUMBER: 19203

REVISION SUMMARY

DATE DESCRIPTION

LANDSCAPE PLAN

L1.0