



To: Fulton Neighborhood
Land Use and Zoning Committee
Attn: Jim Miller

From: Tim Brown
Schaeffco Development, LLC

Date: August 30, 2019

RE: 5337 France Ave South – Redevelopment '53 France Condos'

Dear Jim,

Please accept this Project Narrative relating to our proposed redevelopment of the property located at 5337 France Ave South, Minneapolis into a new five-unit condominium project.

1. General Description:

Schaeffco Development, LLC, acting as both the developer and builder, is planning the five-unit condo project to be called “53 France” (the “Project”) which will redevelop the 10,130 square foot lot. The property is comprised of two separate lots and total approximately 79.96’ in width and 126.7’ deep.

Over the past few months we have been working with our site planning and architecture partners to prepare an application for a new housing product for this location. We have met with city planning staff on a few occasions to present potential options for redevelopment scenarios that would be consistent with both the 2030 and 2040 Comprehensive Plans.

France Ave in this location was designated as a Community Corridor within the 2030 Comprehensive Plan and then within the 2040 Plan, the designation is Urban Neighborhood (Land Use) and Corridor 3 (Built Form). Both the 2030 and 2040 plan recognize a guide for increased density allocations with housing product considerations.

As we reviewed the site conditions, proximity to the walkable 50th and France Activity District, a new for sale condominium project was the determined best use for the

property. With alley access, and limited lot width, utilizing an 'at grade' and enclosed parking feature was determined to be the best method for providing parking for the Project. The project will include 10 parking stalls (2 stalls per condo unit) within the building and will be accessed from the alley.

In order to create the framework for the Project from a zoning perspective, the proposed use will require a rezoning from R1 to R4, which is consistent with the comprehensive guide plan. Under the R4 – the five-unit density is below the allowed allocation. The Project Floor Area Ratio will also be well below the allowable 1.8x (R4 = 1.5x + 20% Parking Bonus). The Project as designed will include a total of 14,120 sf of 'floor area' establishing a FAR of 1.40x.

The R4 District allows for four stories and 56' in building height. With the 2040 Comp Plan – and the Corridor 3 designation, we have set the building at a total of three stories and an overall height of approximately 40' to the top of the parapet, the measurable height for zoning purposes will be closer to 39'.

The R4 district setbacks allow for 15' front yard and with three stories, 9' for the sides and rear. This Project complies with these setbacks. However, given the adjacency to residential districts and established setbacks of existing homes, the Project will also include a variance request for maintaining the district 15' front yard setback.

With the expected approval of the Met Council of the 2040 Plan and the anticipated adoption by the City Council, we expect to have this proposed land use fall under the 2040 Plan contexts. Our plan is to submit for PDR and Land Use Applications in mid to late September.

We have included the current Architectural and Site plans for the Project as well as architectural renderings to better depict the detailing's of the Project.

BUILDING PLANS:

The included architectural plans present the details of the five-unit condo project.

The exterior products to be used include stone veneer, James Hardie Board and Batten Panel and James Hardie Reveal Panels. We will be considering private roof access ports for third floor units to provide roof top patio areas.

ARCHITECTURAL RENDERINGS:

The renderings depict the project in its color and material texture components.

SITE AND LANDSCAPE PLAN:

The included site plans depict current conditions as well as proposed placement of the building within the R4 zoning district setbacks.

As noted earlier, this plan will require a front yard setback variance to maintain the 15' front yard placement. We will be replacing the sidewalk and portions of the curb as part of the overall project.

The site plan also includes the location of the trash area in the south east corner. This will be an enclosure that matches the lower level building dark panel style.

The grading plan and the landscape plan are also included for reference.

2. Summary:

We are very excited to bring this new project and housing opportunity to the neighborhood. Our hopeful timeline will be to submit our applications for PDR and Land Use to the city in mid to late September.

We recognize the fact that this project represents a significant change within the neighborhood and the beginning of the evolution of change along France Ave. With that, the R4 rezoning and setback variance requests will be needed. We look forward to discussing our project and this evolution.

Thank you for your time and consideration in review of our project. We are excited about the opportunity to bring the project to reality and feel it will be a unique and positive addition to the community.

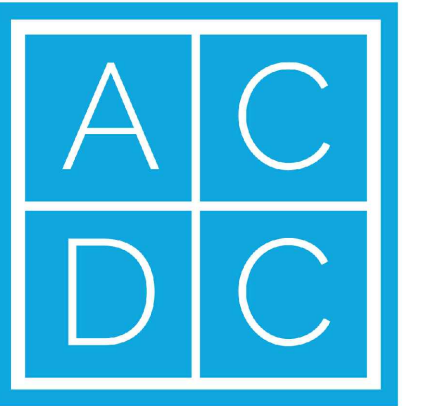
I am planning to attend the Zoning Committee Meeting on September 9th. If there is anything with regard to questions or information that is desired in advance of that meeting, please let me know and we will work to address the requests.

Timothy J Brown
Schaefer Development, LLC
tim@schaefer.com

53 FRANCE RESIDENCE

5337 France Ave, Minneapolis, MN

PRELIMINARY DEVELOPMENT REVIEW 08-30-19



Andy Campbell
Design Company

SHEET INDEX

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A2.3	ROOF PLAN
A3.0	PROPOSED ELEVATIONS
A3.1	PROPOSED ELEVATIONS

PROJECT DIRECTORY

CONTRACTOR:
Schaefer Development
Dan Schaefer
612-254-7444
Dan@schaeferco.com

ARCHITECT:
Andy Campbell Design Company
Andy Campbell
612-432-1891
andy@acdstudio.com



STRUCTURAL ENGINEERING BY OTHERS

PROPOSED RENDERINGS



53 FRANCE
5337 France Ave.
Minneapolis, MN

Signature

I hereby certify that this plan, specification or report as prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota

Signature

Andrew Campbell

Name

July 19 2019

Date

49948

Registration Number

Architect

Andy Campbell
Design Company
612.432.1891
andy@acdsignco.com

Current Issue

PRELIMINARY
DEVELOPMENT
REVIEW
08.30.2019

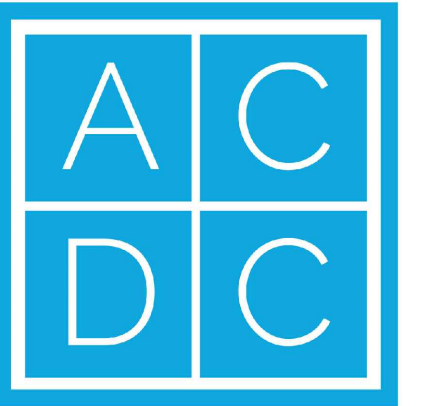
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COVER SHEET

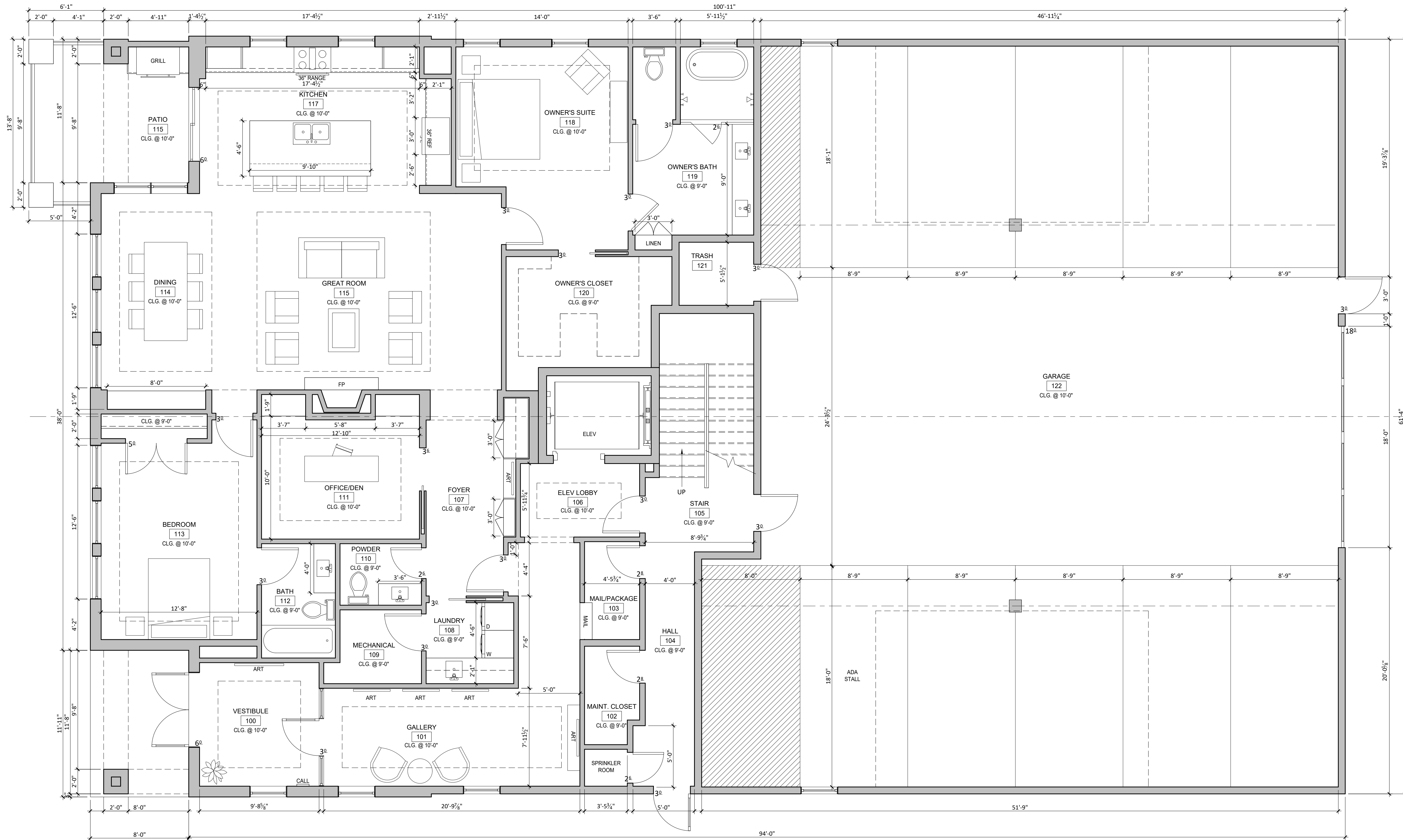
Sheet Number

CVR

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53 FRANCE
5337 France Ave.
Minneapolis, MN

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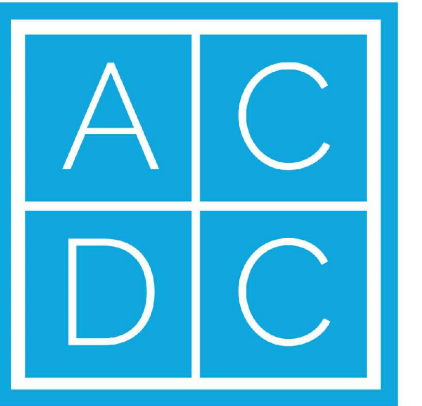
Sheet Title
PROPOSED MAIN
LEVEL PLAN

Sheet Number

A2.0

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1 PROPOSED MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



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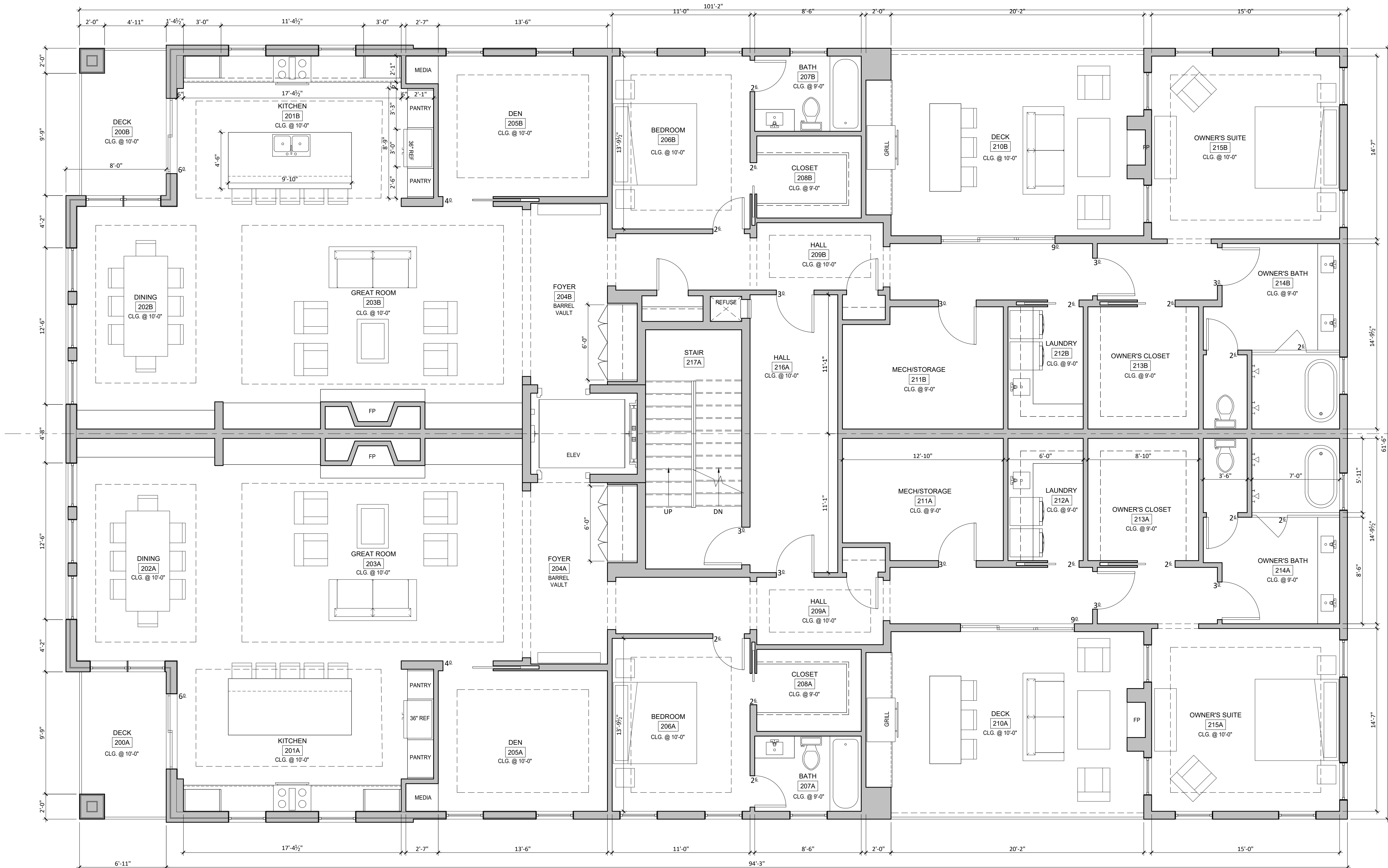
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PROPOSED
SECOND LEVEL
PLAN

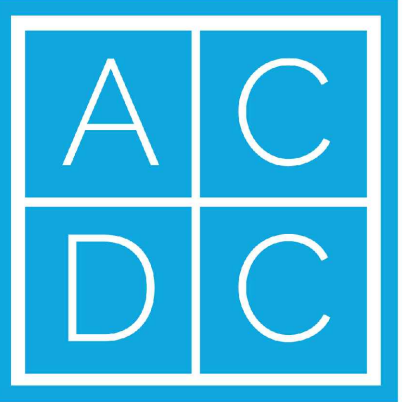
Sheet Number

A2.1

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1 PROPOSED SECOND LEVEL PLAN
A2.1 SCALE: 1/4" = 1'-0"



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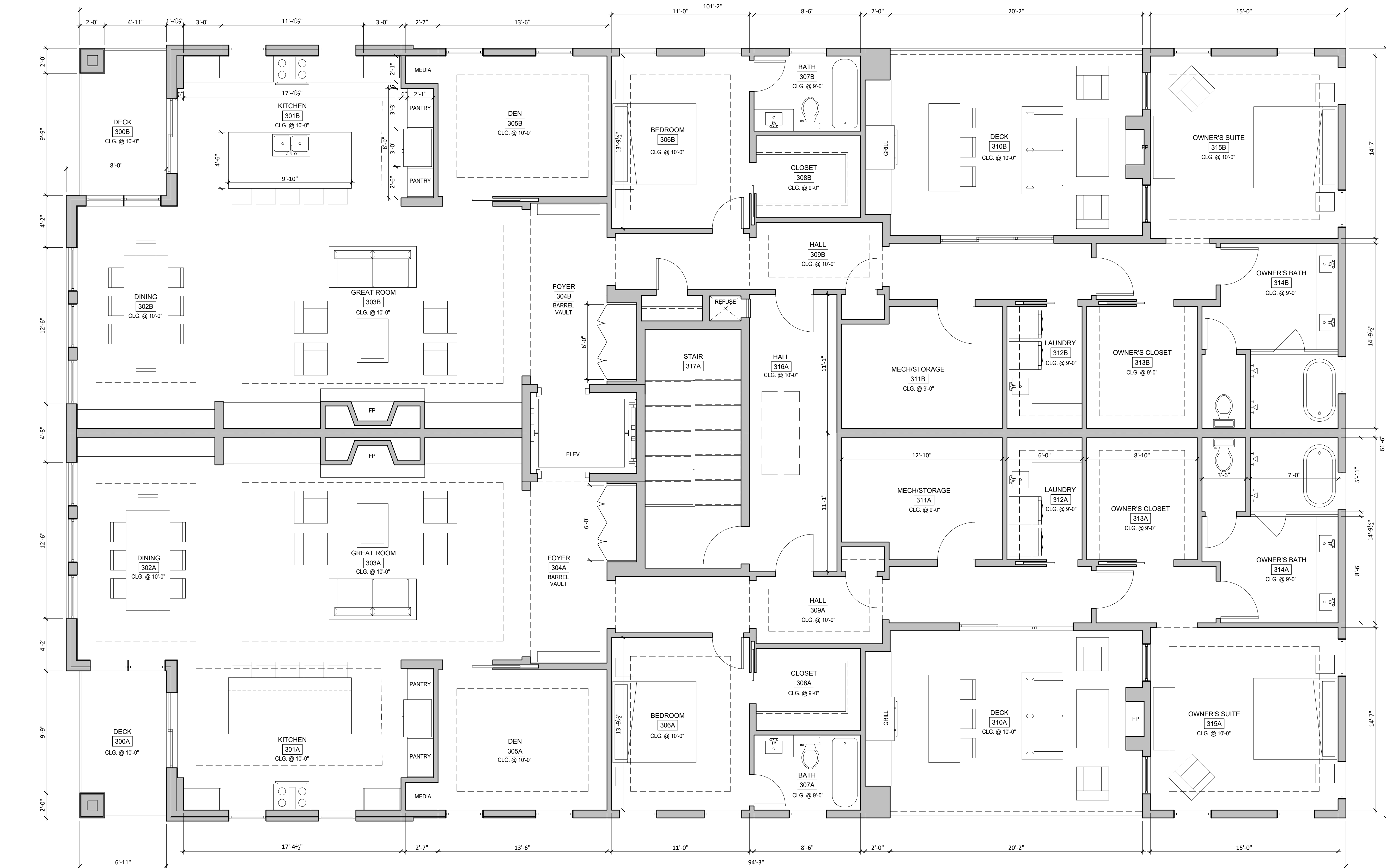
Sheet Title

PROPOSED THIRD
LEVEL PLAN

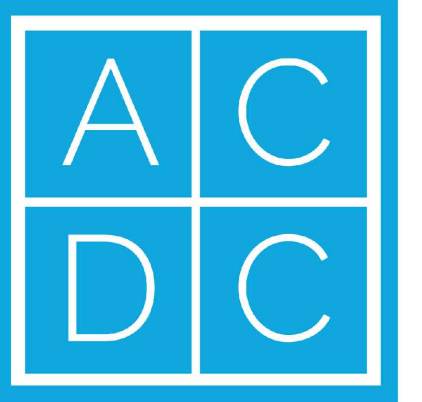
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A2.2

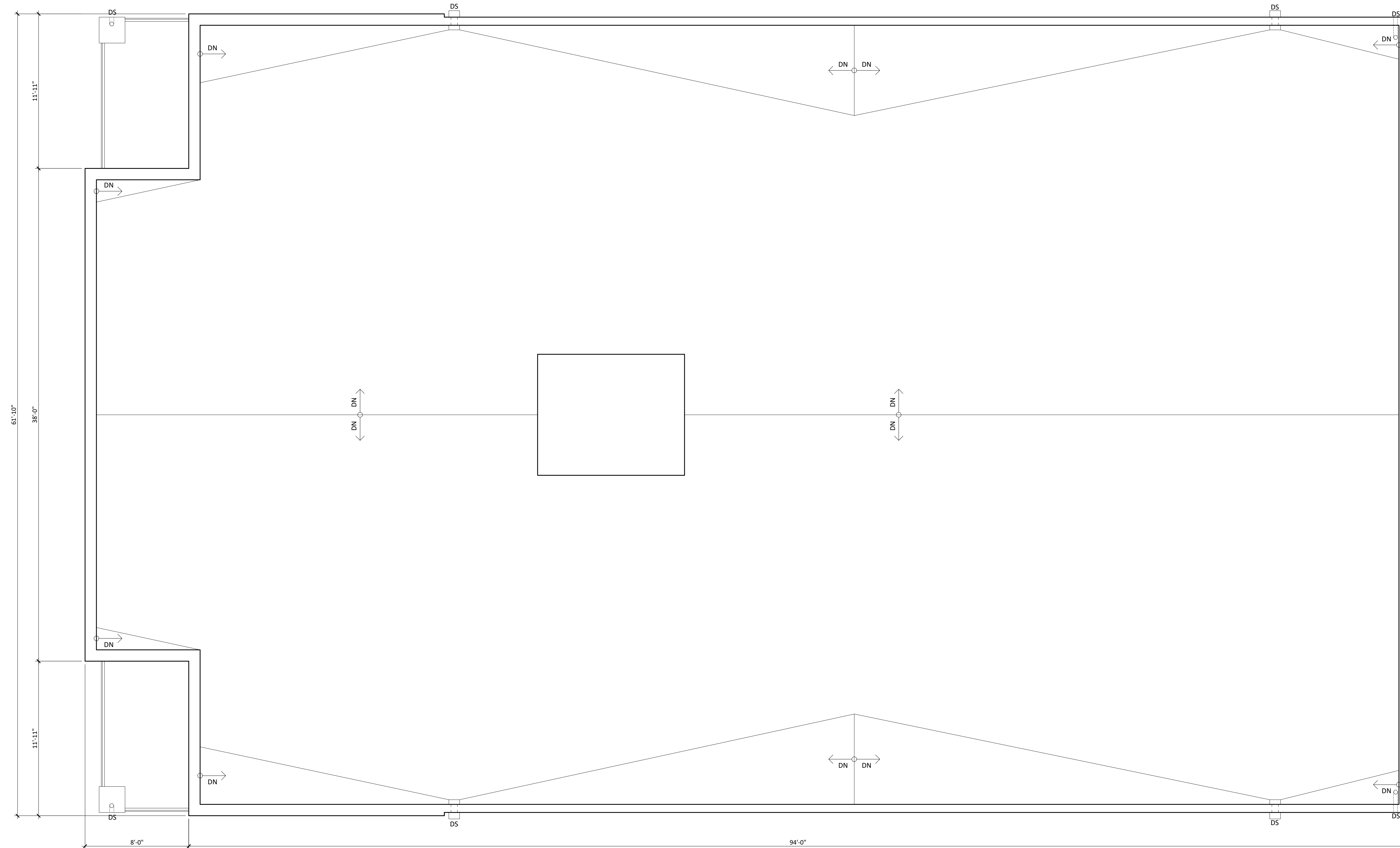
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1 PROPOSED THIRD LEVEL PLAN
A2.2 SCALE: 1/4" = 1'-0"



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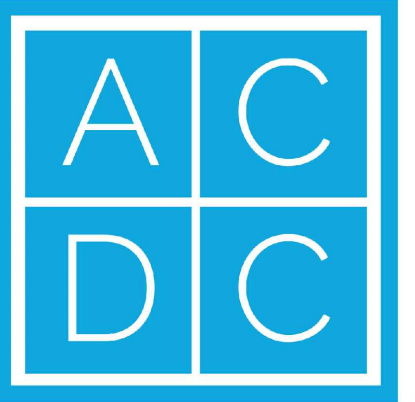
PROPOSED ROOF PLAN

Sheet Number

A2.3

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1 PROPOSED ROOF PLAN
A2.3 SCALE: 1/4" = 1'-0"



Andy Campbell
Design Company



- KEYNOTES:
1. STONE VENEER
 2. PAINTED HARDIE B&B PANELS
 3. HARDIE REVEAL PANEL
 4. CEMENTITIOUS TRIM BOARDS
 5. CEMENTITIOUS/VINYL CROWN + CORNICE
 6. METAL RAILING
 7. BRONZE CLAD WINDOWS
 8. HARDIE LINTEL AND SILL
 9. AWNING
 10. TEXT SIGN BY OWNER
 11. EXTERIOR LIGHT

FACADE	2378 SF	
CEMENTITIOUS B&B	544 SF	23%
GLAZING	732 SF	31%
STONE	924 SF	38%
CEMENTITIOUS REVEAL PANEL	12 SF	1%
CEMENTITIOUS SHIPLAP	0 SF	0%
FASCIA	166 SF	7%

1 PROPOSED ELEVATION
A3.0 SCALE: 3/16" = 1'-0"



FACADE	3021 SF	
CEMENTITIOUS B&B	1018 SF	26%
GLAZING	639 SF	16%
STONE	525 SF	13%
CEMENTITIOUS REVEAL PANEL	1341 SF	34%
CEMENTITIOUS SHIPLAP	200 SF	6%
FASCIA	198 SF	5%

1 PROPOSED ELEVATION
A3.0 SCALE: 3/16" = 1'-0"

53 FRANCE
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Minneapolis, MN

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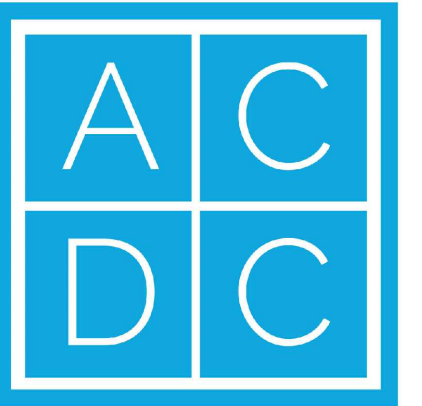
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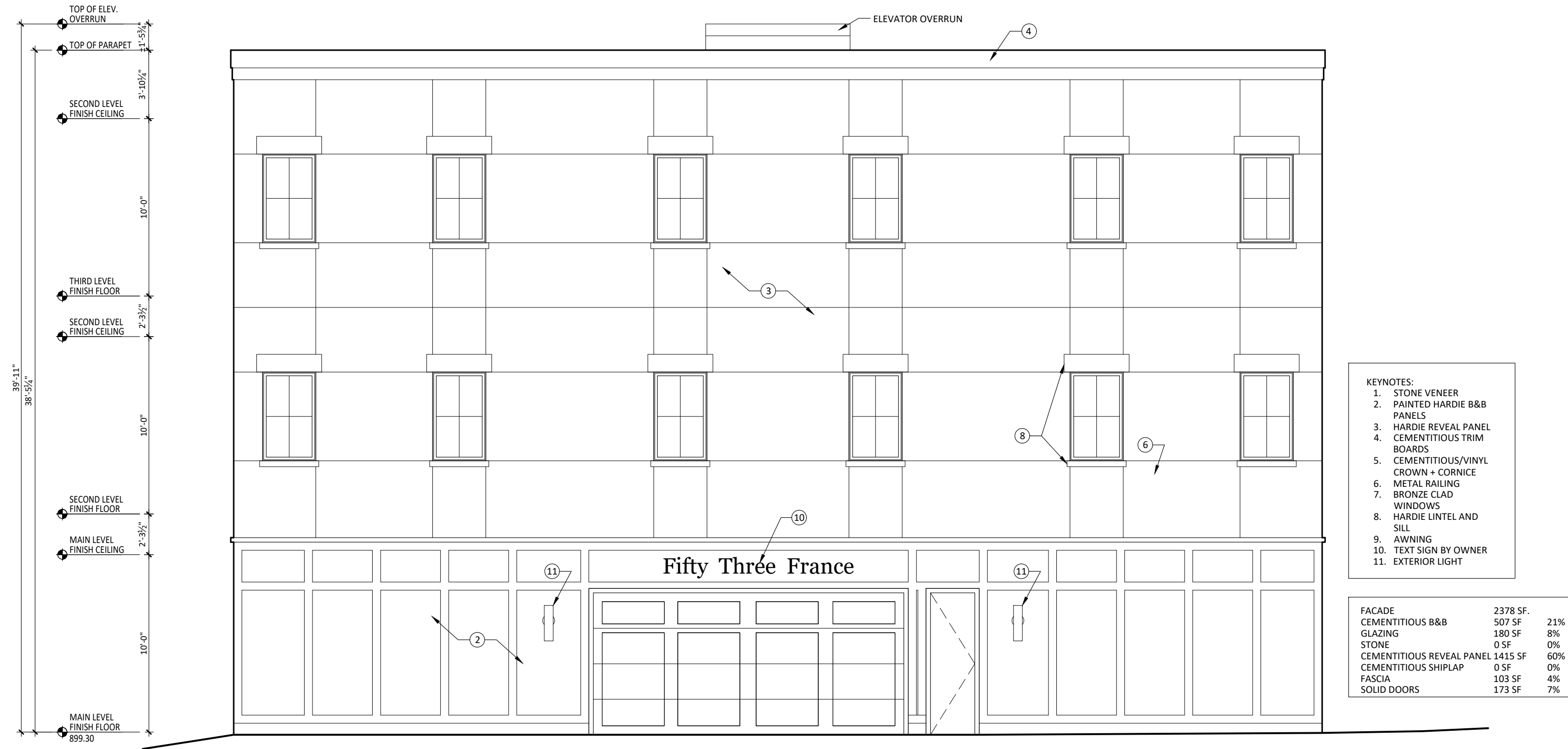
Sheet Title
PROPOSED
ELEVATIONS

Sheet Number

A3.0



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Design Company



1 PROPOSED ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



2 PROPOSED ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

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Minneapolis, MN

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Current Issue

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REVIEW
08.30.2019

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PROPOSED
ELEVATIONS

Sheet Number

A3.1

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5337 FRANCE AVENUE S

MINNEAPOLIS, MINNESOTA

ISSUED FOR: PDR SUBMITTAL



PROJECT
5337 FRANCE AVENUE S
 MINNEAPOLIS, MN 55410

SCHAEFCO DEVELOPMENT, LLC
 2116 2ND AVENUE SOUTH, MINNEAPOLIS, MN 55404

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek
 Matthew R. Pavlek
 DATE 08/23/19 LICENSE NO. 44263

DATE	DESCRIPTION
08/23/19	PDR SUBMITTAL

SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE

DRAWN BY: KB REVIEWED BY: PJS
 PROJECT NUMBER: 19204

DATE	DESCRIPTION

TITLE SHEET

C0.0

DEVELOPER / PROPERTY OWNER:

SCHAEFCO DEVELOPMENT, LLC
 2116 2ND AVENUE SOUTH
 MINNEAPOLIS, MN 55404
 612-254-7444

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP
 4931 W 35TH STREET
 SUITE 200
 ST LOUIS PARK, MN 55416
 612-615-0060

SURVEYOR:

CIVIL SITE GROUP
 4931 W 35TH STREET
 SUITE 200
 ST LOUIS PARK, MN 55416
 612-615-0060

GEOTECHNICAL ENGINEER:

TBD

MASTER LEGEND:

----- 1125 -----	EX. 1' CONTOUR ELEVATION INTERVAL		PROPOSED MANHOLE STORM
X 1137.12	EXISTING SPOT GRADE ELEVATION		PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM
----- 1137 -----	1.0' CONTOUR ELEVATION INTERVAL		PROPOSED GATE VALVE
41.26	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)		PROPOSED FIRE HYDRANT
891.00 G	SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP)		PROPOSED MANHOLE SANITARY
891.00 TC	SPOT GRADE ELEVATION TOP OF WALL		PROPOSED SIGN
891.00 BS/TS	SPOT GRADE ELEVATION BOTTOM OF WALL		PROPOSED LIGHT
	DRAINAGE ARROW		PROPOSED SANITARY SEWER
	SILT FENCE / BIOROLL - GRADING LIMIT		PROPOSED STORM SEWER
	INLET PROTECTION		PROPOSED WATER MAIN
	STABILIZED CONSTRUCTION ENTRANCE		EXISTING SANITARY SEWER
	SOIL BORING LOCATION		EXISTING STORM SEWER
	CURB AND GUTTER (T.O = TIP OUT)		EXISTING WATER MAIN
			EXISTING GAS MAIN
			EXISTING UNDERGROUND ELECTRIC
			EXISTING UNDERGROUND CABLE
	EXISTING MANHOLE		EXISTING STOPBOX
	EXISTING CATCH BASIN		EXISTING GATE VALVE
	EXISTING HYDRANT		EXISTING ELECTRIC BOX
			EXISTING LIGHT
			EXISTING GAS METER
			EXISTING GAS VALVE



Know what's below.
 Call before you dig.

DESCRIPTION OF PROPERTY SURVEYED

Lots 20 and 21, Block 5, Hawthorne Park Second Division, Hennepin County, Minnesota.

Abstract Property

ALTA/NSPS Land Title Survey Notes
(numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
 - Site Address: 5337 France Ave S, Minneapolis, MN 55410.
 - This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0364F, effective date of November 4, 2016.
 - The Gross land area is 10,130 +/- square feet or 0.233 +/- acres.
 - Elevations are based on the NGVD 29 Datum. Site Benchmark is the top rim of the sanitary manhole located 31' +/- southwesterly of southwest property corner. Elevation = 897.68.
 - The current Zoning for the subject property was not provided.
- Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

9. There are no striped parking stalls on subject property.

11. We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies; plans provided by client; markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.

13. The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS.

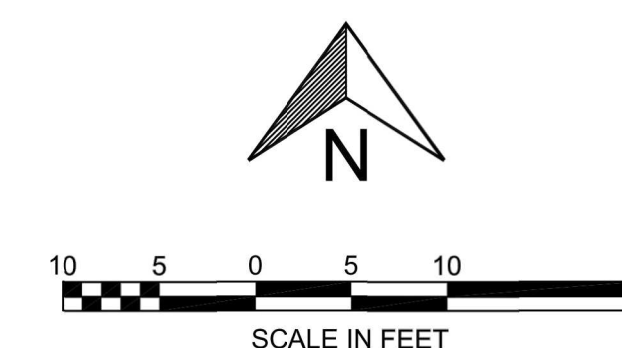
SURVEY REPORT

- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Custom Home Builders Title, LLC, as agent for American Land Title Association, File No. HB-38489, dated October 16, 2018. We note the following with regards to Schedule B of the herein referenced Title Commitment:
 - Item no.'s 1-11 are not survey related.

ALTA CERTIFICATION

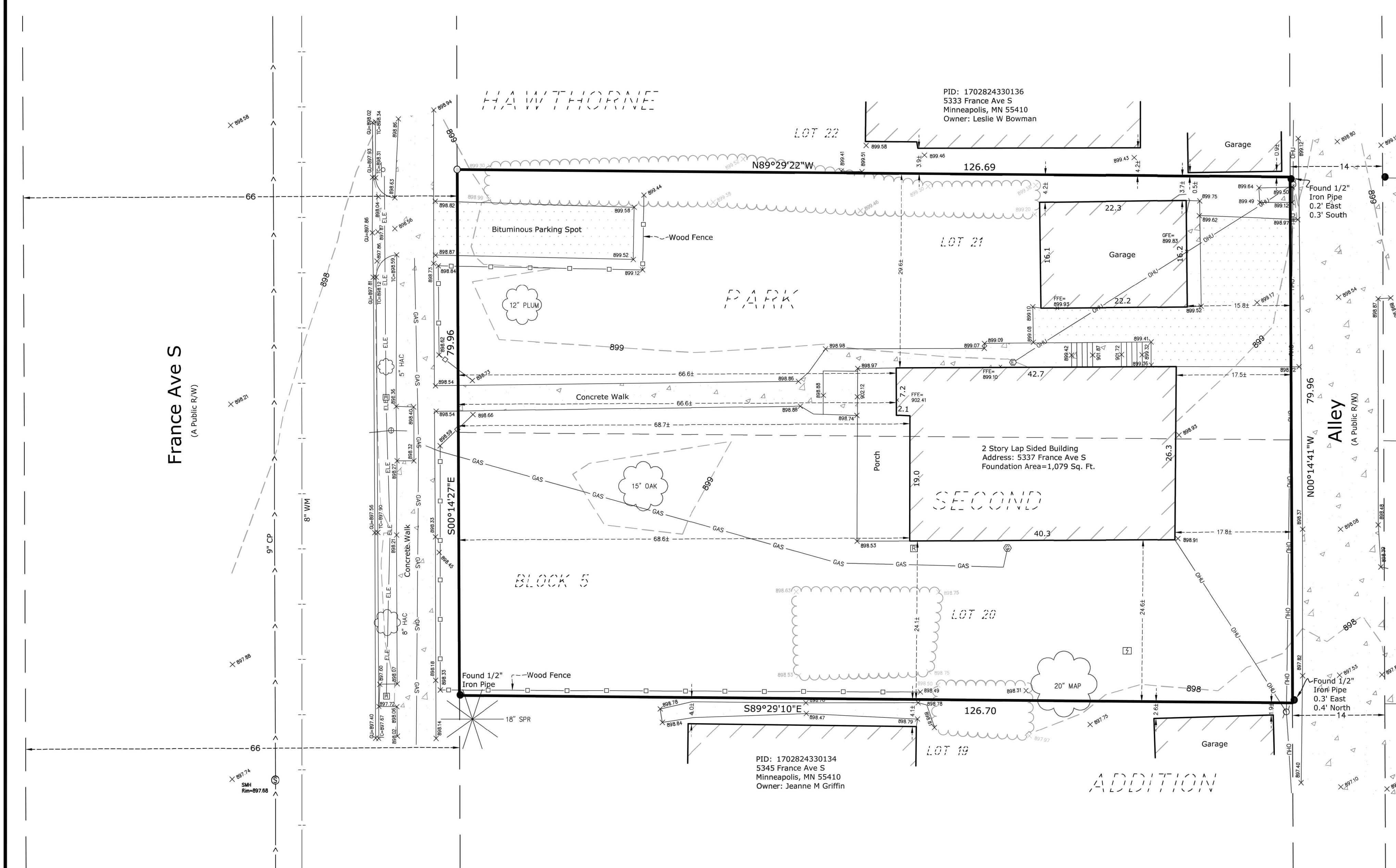
To: James Dale Murphy Tincher and Susan Elaine Murphy Tincher, as joint tenants; Schaefer Development, LLC, a Minnesota limited liability company; Excelsior Capital Sub I, LLC, its successors and/or assigns as their respective interests may appear, Custom Home Builders Title, LLC, as agent for American Land Title Association:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 8, 9, 11, and 13 of Table A thereof. The field work was completed on June 28, 2019.
Dated this 19th day of July, 2019.

Rory L. Synstelen
rory@civilsitegroup.com
Minnesota License No. 44565



Linetype & Symbol Legend

FIBER OPTIC	SIGN	AIR CONDITIONER
GASMAIN	UTILITY MANHOLE	BOLLARD
WATERMAIN	SANITARY MANHOLE	ELECTRIC MANHOLE
SANITARY SEWER	STORM MANHOLE	FLAG POLE
STORM SEWER	CATCH BASIN	FLARED END SECTION
OVERHEAD UTILITIES	ROOF DRAIN	GAS VALVE
TELEPHONE LINE	TELEPHONE BOX	HANDICAP SYMBOL
ELECTRIC LINE	TELEPHONE MANHOLE	HYDRANT
CABLE LINE	ELECTRIC TRANSFORMER	WATER MANHOLE
CHAINLINK FENCELINE	TRAFFIC SIGNAL	WATER VALVE
WOODEN FENCELINE	CABLE TV BOX	POWER POLE
GUARDRAIL	ELECTRICAL METER	GUY WIRE
CONCRETE SURFACE	GAS METER	CONIFEROUS TREE
PAVER SURFACE	FOUND IRON MONUMENT	DECIDUOUS TREE
BITUMINOUS SURFACE	SET IRON MONUMENT	
GRAVEL/LANDSCAPE SURFACE	CAST IRON MONUMENT	

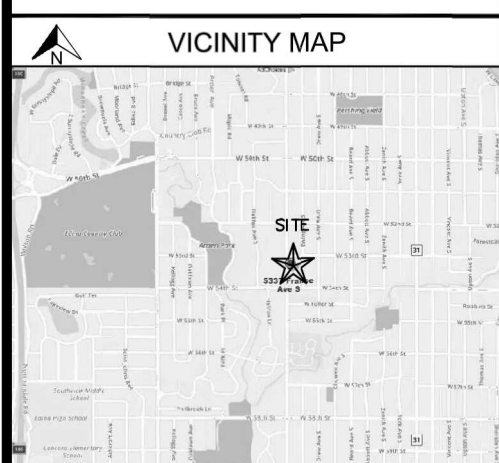


PROJECT
5337 France Ave S
Minneapolis, Hennepin County, MN 55410

CLIENT
Schaefer Development, LLC
2116 Second Ave S, Minneapolis, MN 55404

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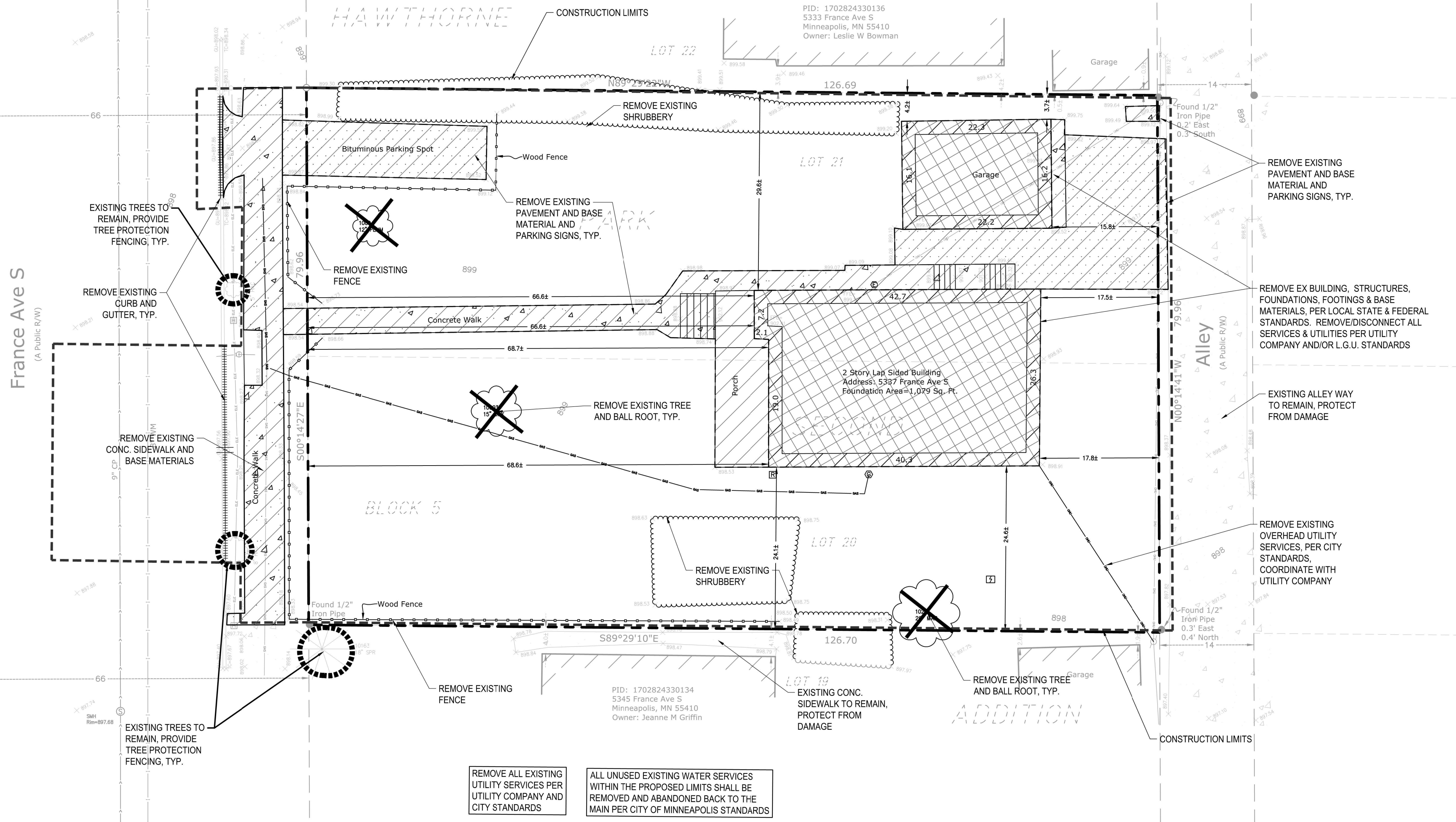
Rory L. Synstelen
DATE 7-19-19 LICENSE NO. 44565



REVISION SUMMARY

DATE	DESCRIPTION

ALTA/NSPS LAND TITLE SURVEY
V1.0
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REMOVAL NOTES:

- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- ABANDON, REMOVE, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
- EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.

CITY OF MINNEAPOLIS REMOVAL NOTES:

- ALL EXISTING AND PROPOSED UNDERGROUND PUBLIC UTILITIES (WATER, SANITARY, AND STORM DRAIN) SHALL BE SHOWN ON THE SITE PLAN WITH CORRESPONDING PIPE SIZES AND TYPES. FOR PUBLIC WATER/RAIN INFRASTRUCTURE RECORDS CALL (612)673-2865. ANY EXISTING WATER SERVICE CONNECTIONS TO THE SITE SHALL BE NOTED ON THE PLANS FOR REMOVAL, AND SHALL BE REMOVED PER THE REQUIREMENTS OF THE UTILITY CONNECTIONS DEPARTMENT BEFORE ANY NEW SERVICES LINES CAN BE INSTALLED, CALL (612)673-2451 FOR MORE INFORMATION.
- ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE RE-DEVELOPMENT.

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN. SIGNED BY PARTIES BELOW:

OWNER: _____
 DEVELOPER: _____
 CONTRACTOR: _____

OWNER INFORMATION

OWNER: SCHAEFCO DEVELOPMENT, LLC
 2116 2ND AVENUE SOUTH
 MINNEAPOLIS, MN 55404

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW11.0-SW11.3

REMOVALS LEGEND:

- EX. 1' CONTOUR ELEVATION INTERVAL
- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS



Know what's below.
 Call before you dig.



1" = 10'-0"
 5'-0" 0 10'-0"

5337 FRANCE AVENUE S

MINNEAPOLIS, MN 55410
 SCHAEFCO DEVELOPMENT, LLC
 2116 2ND AVENUE SOUTH, MINNEAPOLIS, MN 55404

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek
 DATE 08/23/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
08/23/19	FOR SUBMITTAL

DRAWN BY: KB REVIEWED BY: PJS
 PROJECT NUMBER: 19204

REVISION SUMMARY

DATE	DESCRIPTION
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REVISION SUMMARY

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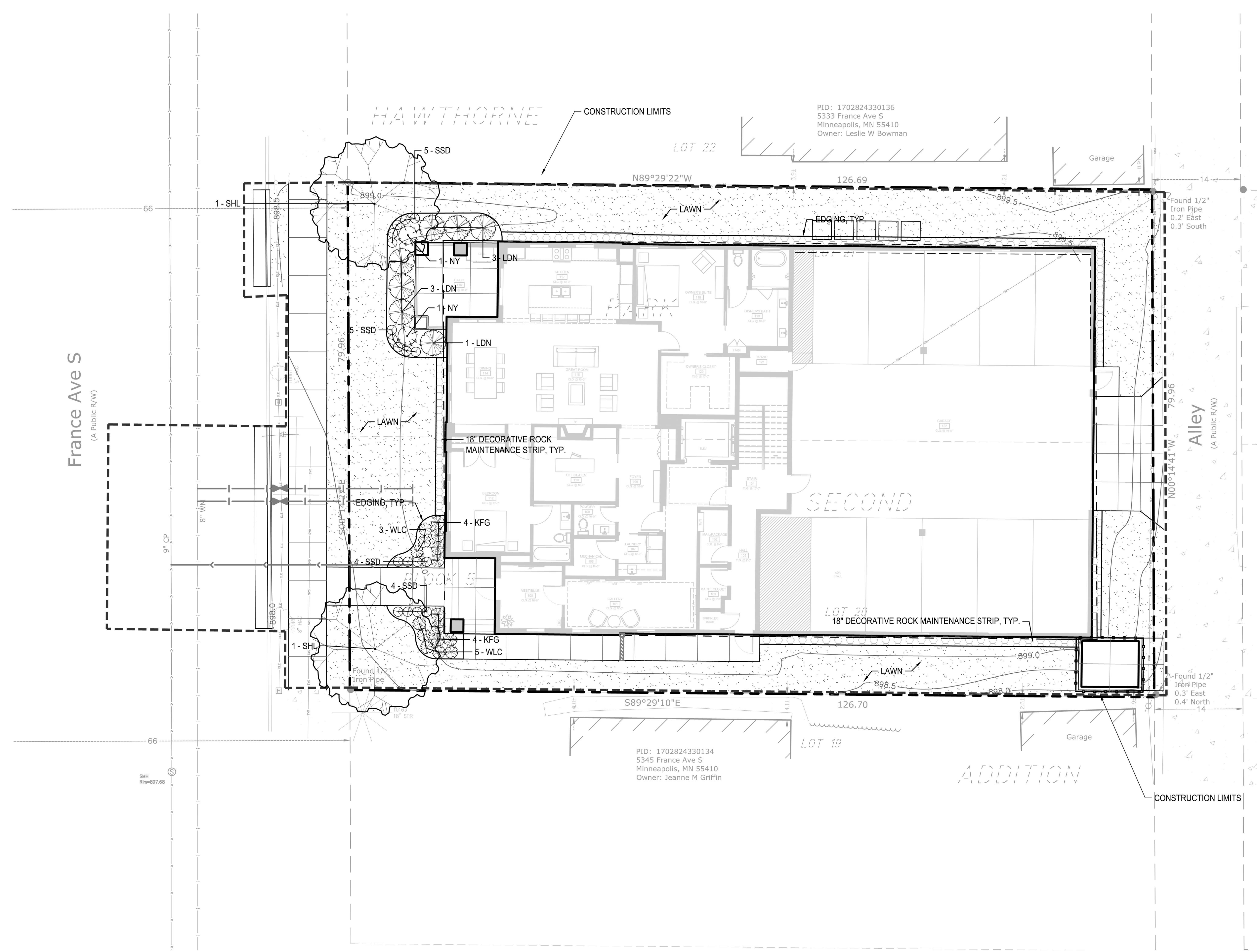
REVISION SUMMARY

REVISION SUMMARY

REVISION SUMMARY

REVISION SUMMARY

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POLLINATOR SAFE PLANT MATERIAL:

- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIAACLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENOPYRAM (CAPSTAR, GUARDIAN).
- CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

LANDSCAPE NOTES:

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:

- ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING: [HTTP://WWW.MINNEAPOLISMN.GOV/PUBLICWORKS/PLATES/INDEX.HTM](http://www.minneapolismn.gov/publicworks/plates/index.htm)).

PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POLLINATOR FRIENDLY	NATIVE	COMMENTS
TREES								
DECIDUOUS TREES								
SHL	2	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	2.5' CAL.	B&B			STRAIGHT LEADER, FULL FORM
SHRUBS								
SHRUBS - CONIFEROUS & EVERGREEN								
NY	2	NOVA YEW	Taxus cuspidata 'Nova'	36" HT.	CONT.			
LDN	7	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Donna May'	24" HT.	CONT.	X	X	
PERENNIALS & GRASSES								
KFG	8	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	#1	CONT.			
SSD	18	STELLA SUPREME DAYLILY	Hemerocallis 'Stella Supreme'	#1	CONT.	X	X	
WLC	8	WALKER'S LOW CATMINT	Nepeta x faassenii 'Walker's Low'	#1	CONT.	X	X	

LANDSCAPE CALCULATIONS:

PROPOSED LANDSCAPE AREA CALCULATION:
 SITE AREA - BUILDING COVERAGE = OPEN SPACE
 10,130.0 SF - 6,075.0 SF = 4,055.0 SF

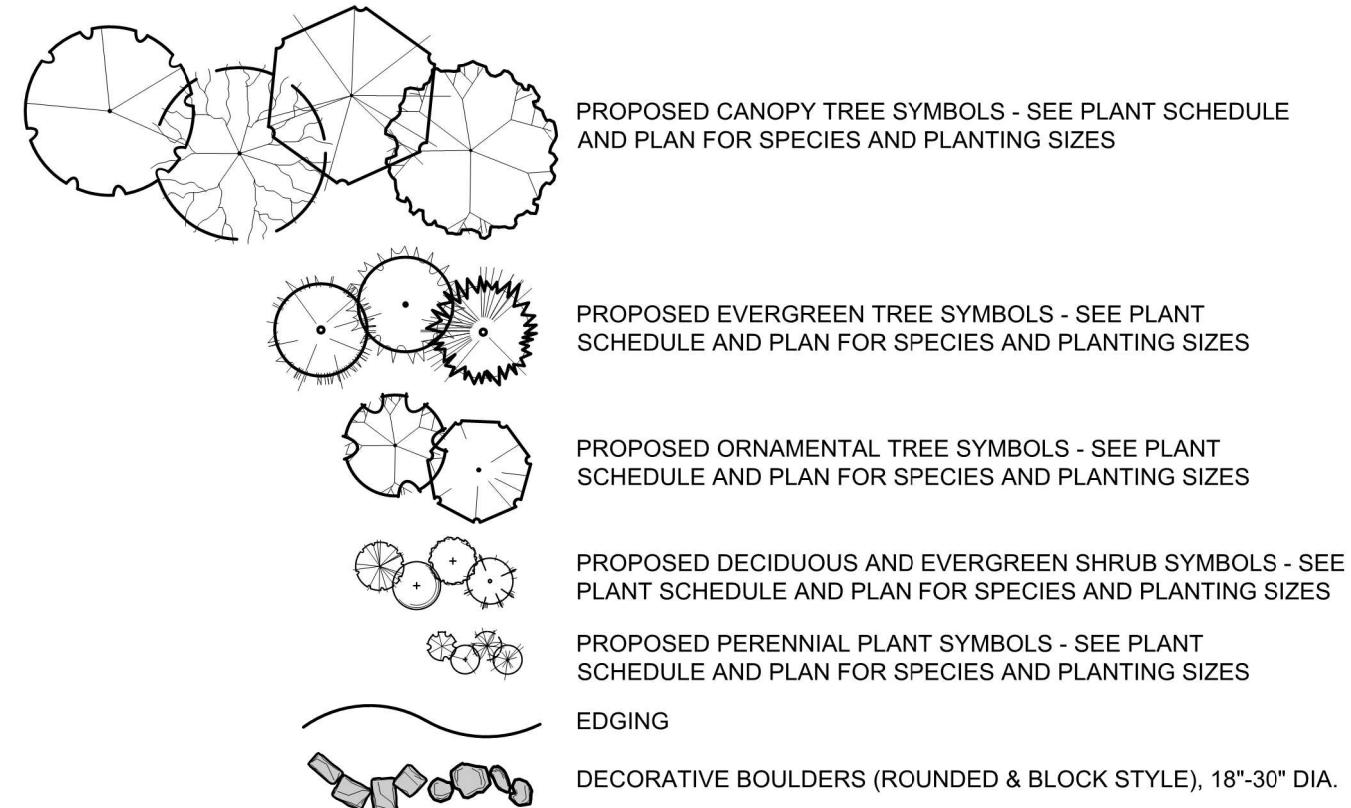
20% OF OPEN SPACE = LANDSCAPE AREA
 20% X 4,055.0 SF = 811.0 SF REQUIRED
 78% X 4,055.0 SF = 3,180.0 SF PROVIDED
 68.6% PROPOSED IMPERVIOUS RATIO

PROPOSED LANDSCAPE:
 1 TREE / 500 SF OF "LANDSCAPE AREA"
 811.0 SF / 500 = 2 TREES REQUIRED
 SEE PLANT SCHEDULE

1 SHRUB / 100 SF OR "LANDSCAPE AREA"
 811.0 SF / 100 = 8.11 SHRUBS REQUIRED
 SEE PLANT SCHEDULE

LEGEND

- SHREDDED CYPRESS MULCH. SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- 1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC. SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN



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Patrick J. Sarver
 Patrick J. Sarver
 DATE: 08/23/19 LICENSE NO. 24904

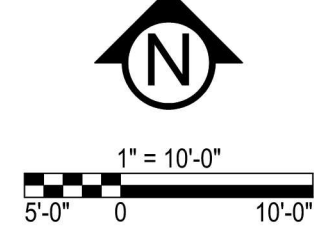
DATE	DESCRIPTION
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LANDSCAPE PLAN



L1.0



Fifty Three France



Fifty Three France

53



Fifty Three France