

To: Fulton Neighborhood

Land Use and Zoning Committee

Attn: Jim Miller

From: Tim Brown

Schaefco Development, LLC

Date: August 30, 2019

RE: 5337 France Ave South – Redevelopment '53 France Condos'

\_\_\_\_\_\_

Dear Jim,

Please accept this Project Narrative relating to our proposed redevelopment of the property located at 5337 France Ave South, Minneapolis into a new five-unit condominium project.

### 1. General Description:

Schaefco Development, LLC, acting as both the developer and builder, is planning the five-unit condo project to be called "53 France" (the "Project") which will redevelop the 10,130 square foot lot. The property is comprised of two separate lots and total approximately 79.96' in width and 126.7' deep.

Over the past few months we have been working with our site planning and architecture partners to prepare an application for a new housing product for this location. We have met with city planning staff on a few occasions to present potential options for redevelopment scenarios that would be consistent with both the 2030 and 2040 Comprehensive Plans.

France Ave in this location was designated as a Community Corridor within the 2030 Comprehensive Plan and then within the 2040 Plan, the designation is Urban Neighborhood (Land Use) and Corridor 3 (Built Form). Both the 2030 and 2040 plan recognize a guide for increased density allocations with housing product considerations.

As we reviewed the site conditions, proximity to the walkable 50<sup>th</sup> and France Activity District, a new for sale condominium project was the determined best use for the

property. With alley access, and limited lot width, utilizing an 'at grade' and enclosed parking feature was determined to be the best method for providing parking for the Project. The project will include 10 parking stalls (2 stalls per condo unit) within the building and will be accessed from the alley.

In order to create the framework for the Project from a zoning perspective, the proposed use will require a rezoning from R1 to R4, which is consistent with the comprehensive guide plan. Under the R4 – the five-unit density is below the allowed allocation. The Project Floor Area Ratio will also be well below the allowable 1.8x (R4 = 1.5x + 20% Parking Bonus). The Project as designed will include a total of 14,120 sf of 'floor area' establishing a FAR of 1.40x.

The R4 District allows for four stories and 56' in building height. With the 2040 Comp Plan – and the Corridor 3 designation, we have set the building at a total of three stories and an overall height of approximately 40' to the top of the parapet, the measurable height for zoning purposes will be closer to 39'.

The R4 district setbacks allow for 15' front yard and with three stories, 9' for the sides and rear. This Project complies with these setbacks. However, given the adjacency to residential districts and established setbacks of existing homes, the Project will also include a variance request for maintaining the district 15' front yard setback.

With the expected approval of the Met Council of the 2040 Plan and the anticipated adoption by the City Council, we expect to have this proposed land use fall under the 2040 Plan contexts. Our plan is to submit for PDR and Land Use Applications in mid to late September.

We have included the current Architectural and Site plans for the Project as well as architectural renderings to better depict the detailing's of the Project.

### **BUILDING PLANS:**

The included architectural plans present the details of the five-unit condo project.

The exterior products to be used include stone veneer, James Hardie Board and Batten Panel and James Hardie Reveal Panels. We will be considering private roof access ports for third floor units to provide roof top patio areas.

### ARCHITECTURAL RENDERINGS:

The renderings depict the project in its color and material texture components.

### **SITE AND LANDSCAPE PLAN:**

The included site plans depict current conditions as well as proposed placement of the building within the R4 zoning district setbacks.

As noted earlier, this plan will require a front yard setback variance to maintain the 15' font yard placement. We will be replacing the sidewalk and portions of the curb as part of the overall project.

The site plan also includes the location of the trash area in the south east corner. This will be an enclosure that matches the lower level building dark panel style.

The grading plan and the landscape plan are also included for reference.

### 2. Summary:

We are very excited to bring this new project and housing opportunity to the neighborhood. Our hopeful timeline will be to submit our applications for PDR and Land Use to the city in mid to late September.

We recognize the fact that this project represents a significant change within the neighborhood and the beginning of the evolution of change along France Ave. With that, the R4 rezoning and setback variance requests will be needed. We look forward to discussing our project and this evolution.

Thank you for your time and consideration in review of our project. We are excited about the opportunity to bring the project to reality and feel it will be a unique and positive addition to the community.

I am planning to attend the Zoning Committee Meeting on September 9<sup>th</sup>. If there is anything with regard to questions or information that is desired in advance of that meeting, please let me know and we will work to address the requests.

Timothy J Brown Schaefco Development, LLC <u>tim@schaefco.com</u>

# 53 FRANCE RESIDENCE

5337 France Ave, Minneapolis, MN

# PRELIMINARY DEVELOPMENT REVIEW 08-30-19

# SHEET INDEX

L1.0 LANDSCAPE PLAN

C2.0 SITE PLAN

C3.0 GRADING PLAN

A2.0 MAIN LEVEL PLAN

A2.1 SECOND LEVEL PLAN
A2.2 THIRD LEVEL PLAN

A2.3 ROOF PLAN

A3.0 PROPOSED ELEVATIONS

A3.1 PROPOSED ELEVATIONS

# PROJECT DIRECTORY

### **CONTRACTOR:**

Schaefco Development Dan Schaefer 612-254-7444 Dan@schaefco.com

### ARCHITECT:

Andy Campbell Design Company Andy Campbell 612-432-1891 andy@acdcstudio.com

# STRUCTURAL ENGINEERING BY OTHERS

# Fifty Three France

# PROPOSED RENDERINGS









Andy Campbell Design Company

> 5337 France Ave. Minneapolis, MN

specification or report as prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota

Signature

Signature
Andrew Campbell

July 19 2019

Registration Number

Architect
Andy Campbell
Design Company

612.432.1891 andy@acdesignco.co

Current Issue
PRELIMINARY
DEVELOPMENT
REVIEW
08.30.2019

Sheet Title

COVER SHEET

Sheet Number





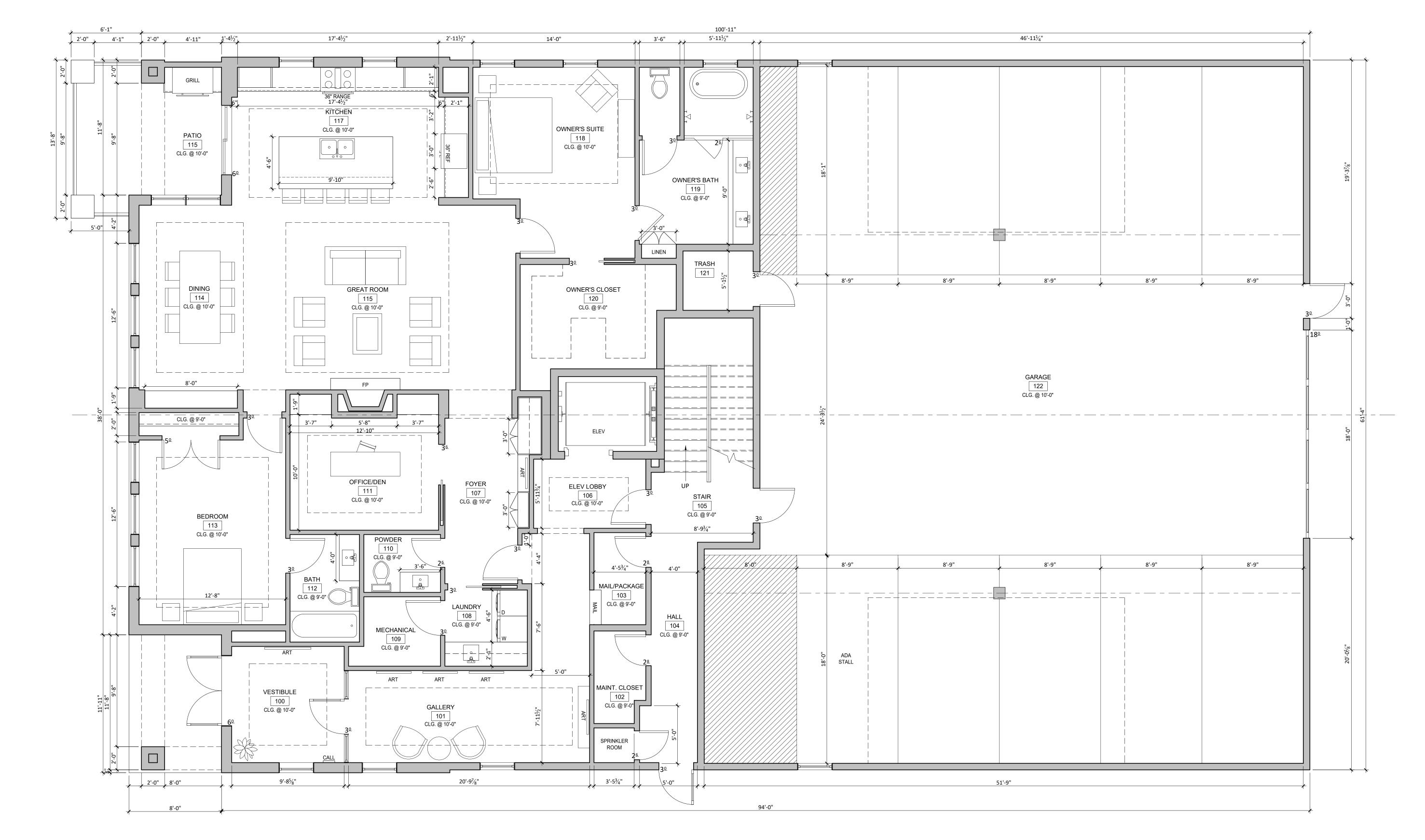
Design Company 612.432.1891 andy@acdesignco.co

> Current Issue PRELIMINARY DEVELOPMENT REVIEW

08.30.2019 Sheet Title

PROPOSED MAIN LEVEL PLAN

Sheet Number





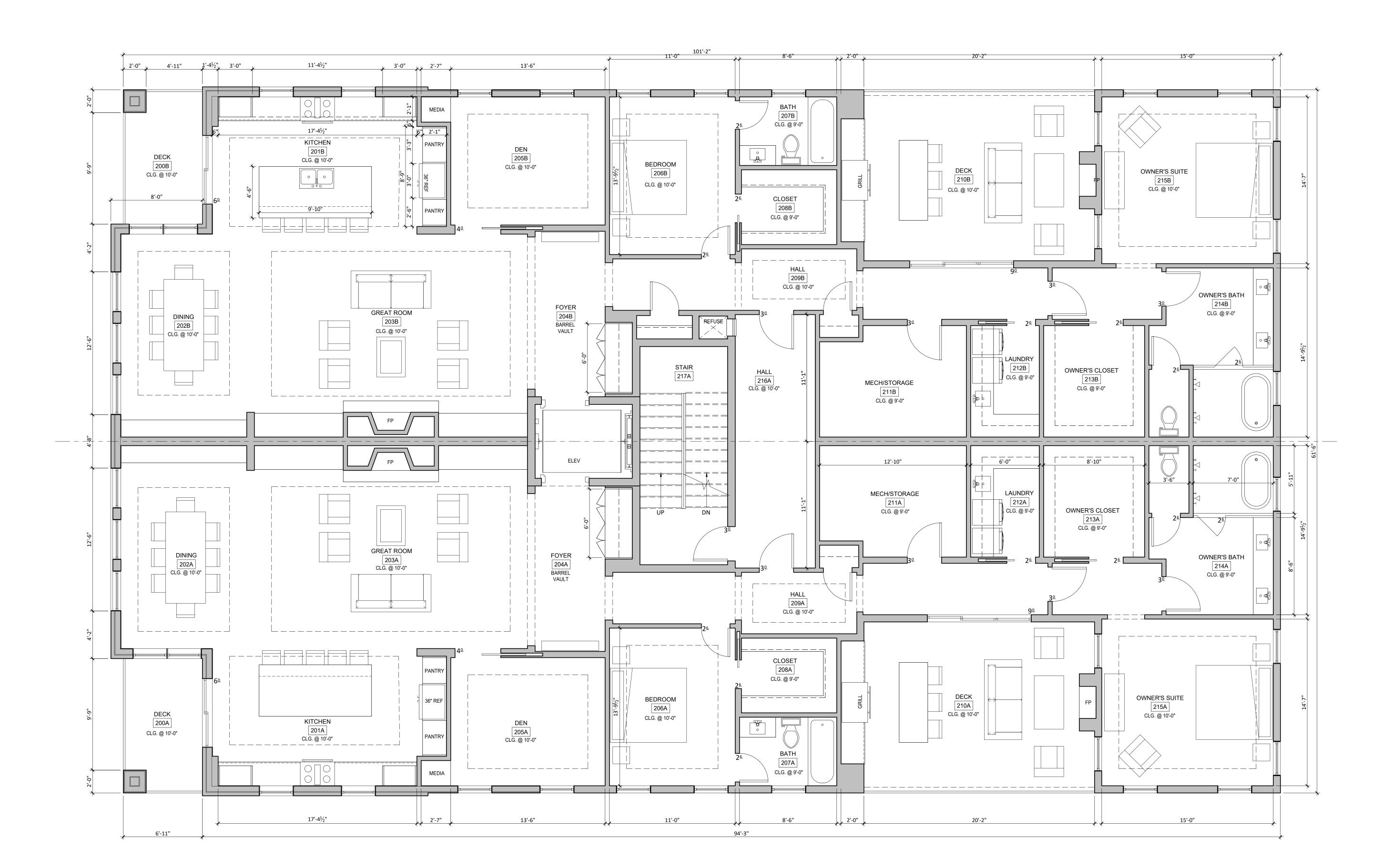


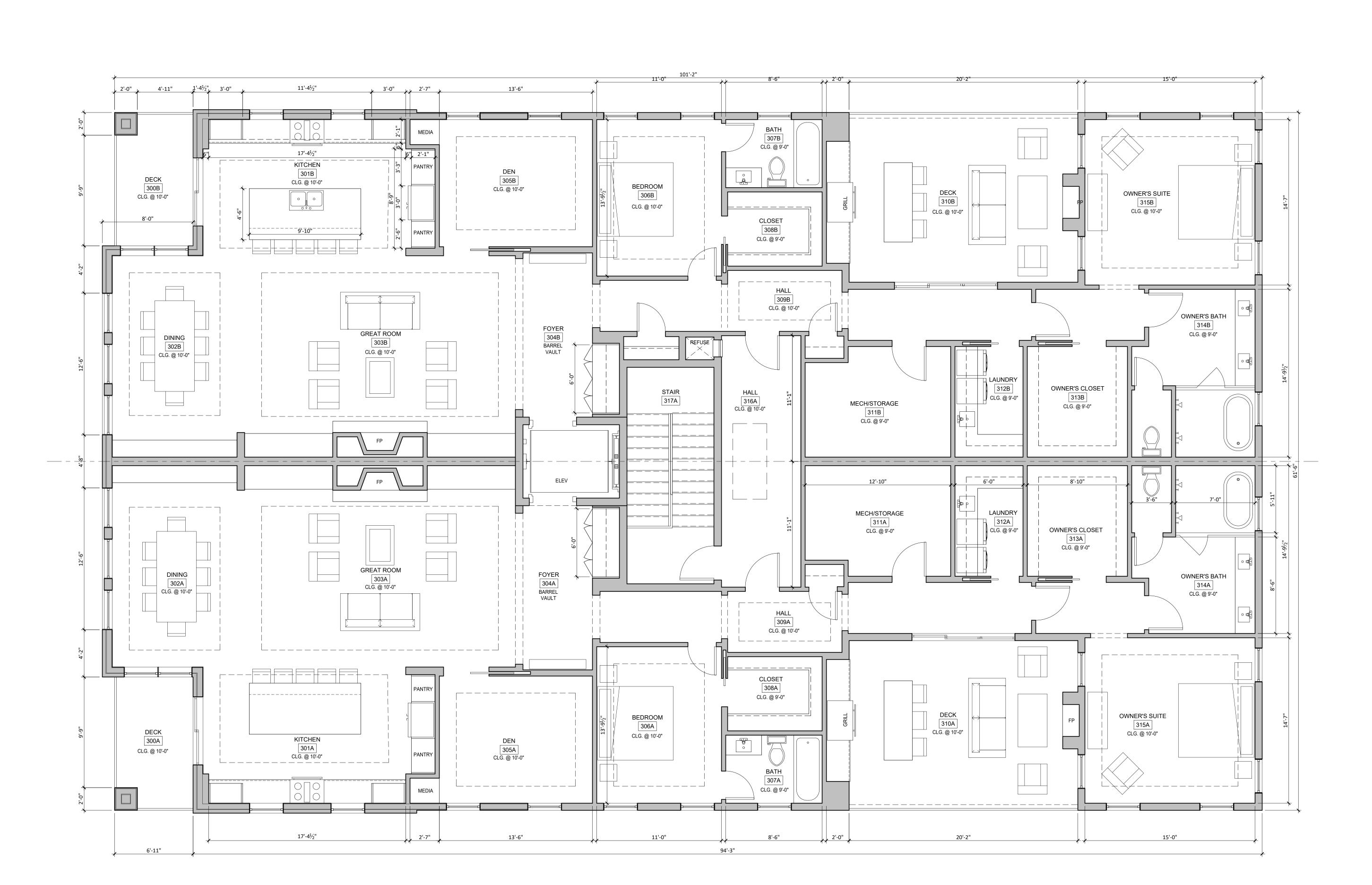
612.432.1891 andy@acdesignco.co Current Issue PRELIMINARY DEVELOPMENT REVIEW 08.30.2019

Sheet Title

SECOND LEVEL PLAN Sheet Number

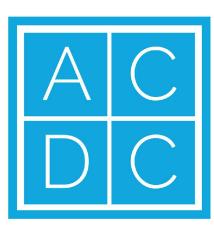
PROPOSED





PROPOSED THIRD LEVEL PLAN

A2.2 SCALE: 1/4" = 1'-0"



Andy Campbell Design Company

**53 FRANCE** 5337 France Ave. Minneapolis, MN

Signature
Andrew Campbell

Signature

I hereby certify that this plan, specification or report as prepared

by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota

Name **July 19 2019** 

49948
Registration Number

Architect

Andy Campbell Design Company

612.432.1891 andy@acdesignco.co

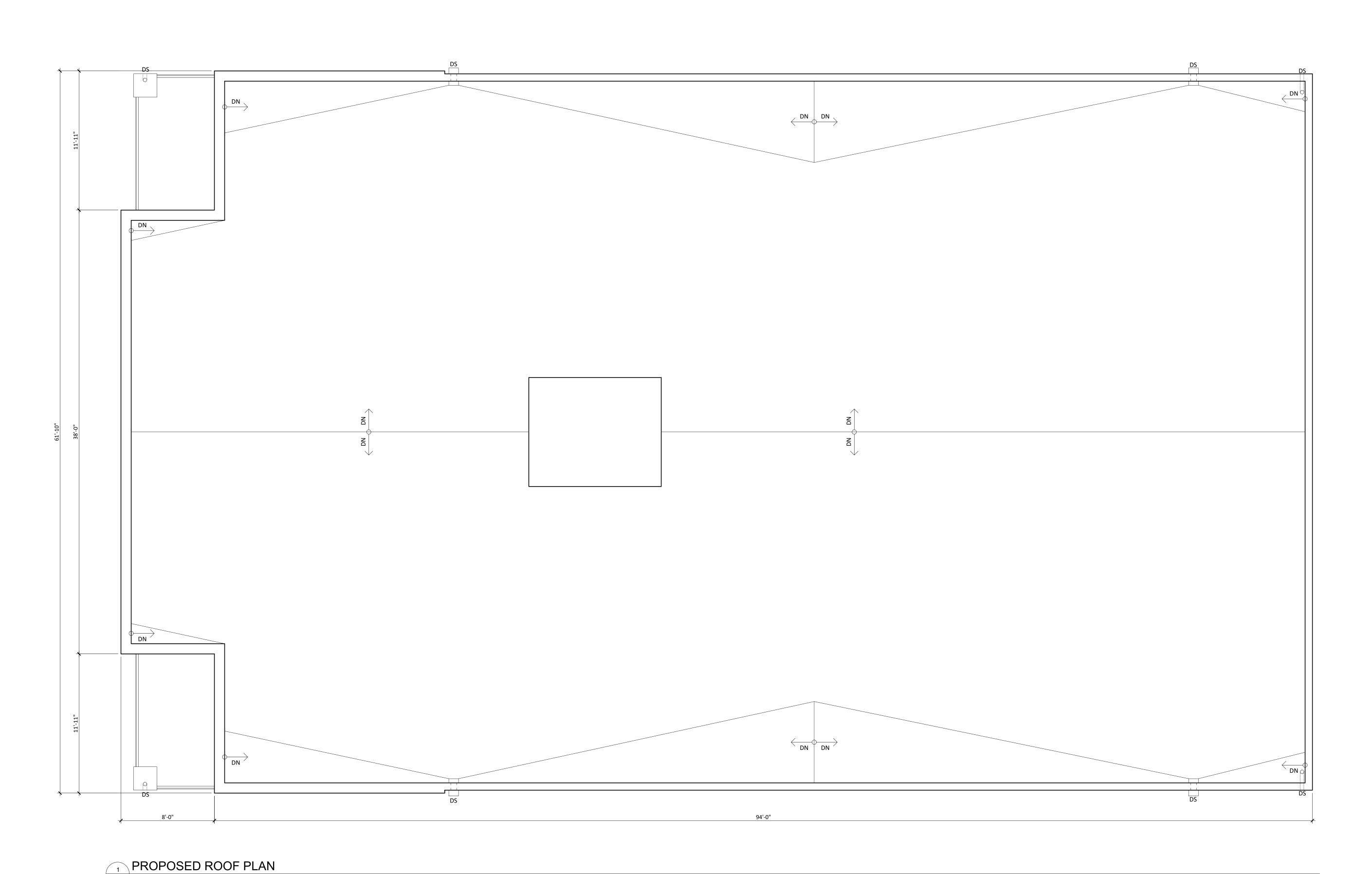
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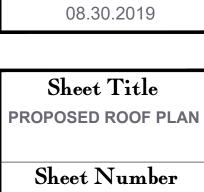
08.30.2019

Sheet Title
PROPOSED THIRD
LEVEL PLAN

Sheet Number

A2.2





Andy Campbell Design Company

> 53 FRANCE 5337 France Ave. Minneapolis, MN

Signature

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Signature

July 19 2019

Andrew Campbell

49948
Registration Number

Andy Campbell Design Company 612.432.1891

Architect

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Current Issue

PRELIMINARY DEVELOPMENT REVIEW

A2 3

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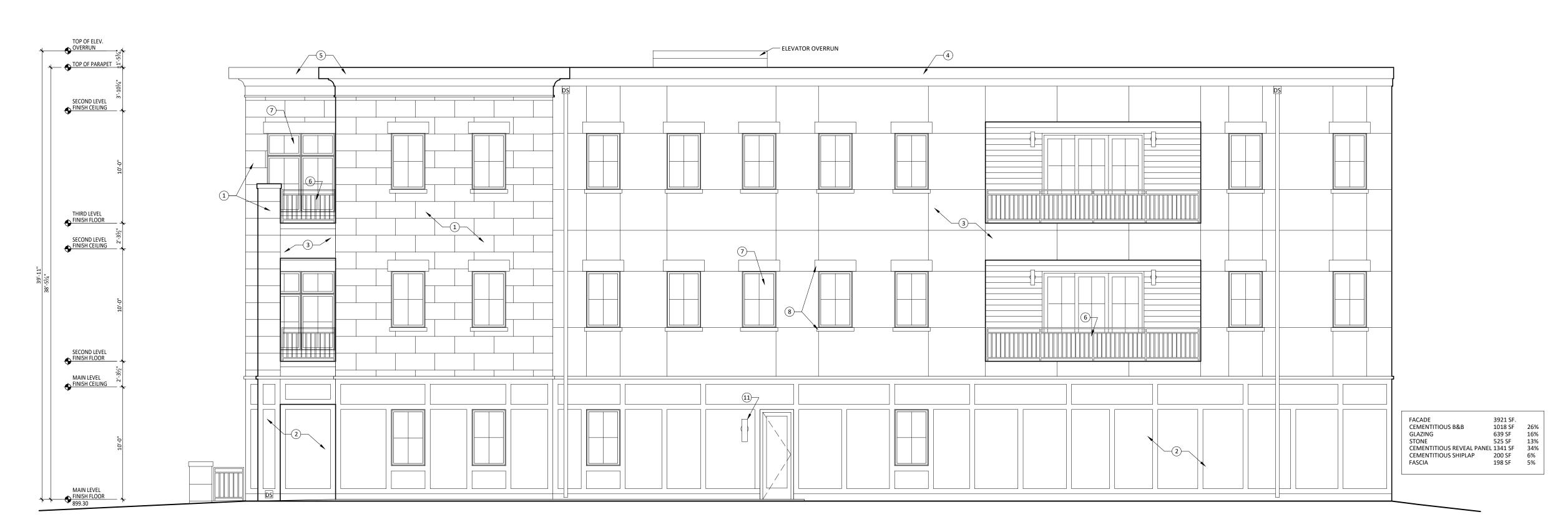
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A2.3 SCALE: 1/4" = 1'-0"



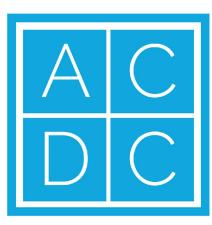
PROPOSED ELEVATION

A3.0 SCALE: 3/16" = 1'-0"



PROPOSED ELEVATION

A3.0 SCALE: 3/16" = 1'-0"



Andy Campbell Design Company

> 53 FRANCE 5337 France Ave. Minneapolis, MN

by me or under my direct
supervision and that I am a duly
registered architect under the laws
of the State of Minnesota

Signature

I hereby certify that this plan, specification or report as prepared

Andrew Campbell
Name

July 19 2019

Date

49948

Signature

Registration Number

Architect

Andy Campbell Design Company 612.432.1891

andy@acdesignco.co

Current Issue

PRELIMINARY DEVELOPMENT REVIEW 08.30.2019

Sheet Title

PROPOSED ELEVATIONS

Sheet Number

A3.0



# PROPOSED ELEVATION

A3.1 SCALE: 3/16" = 1'-0"



3.1

A C
D C

Andy Campbell Design Company

> 53 FRANCE 5337 France Ave. Minneapolis, MN

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Signature

Signature

Andrew Campbell

Name

July 19 2019

Date

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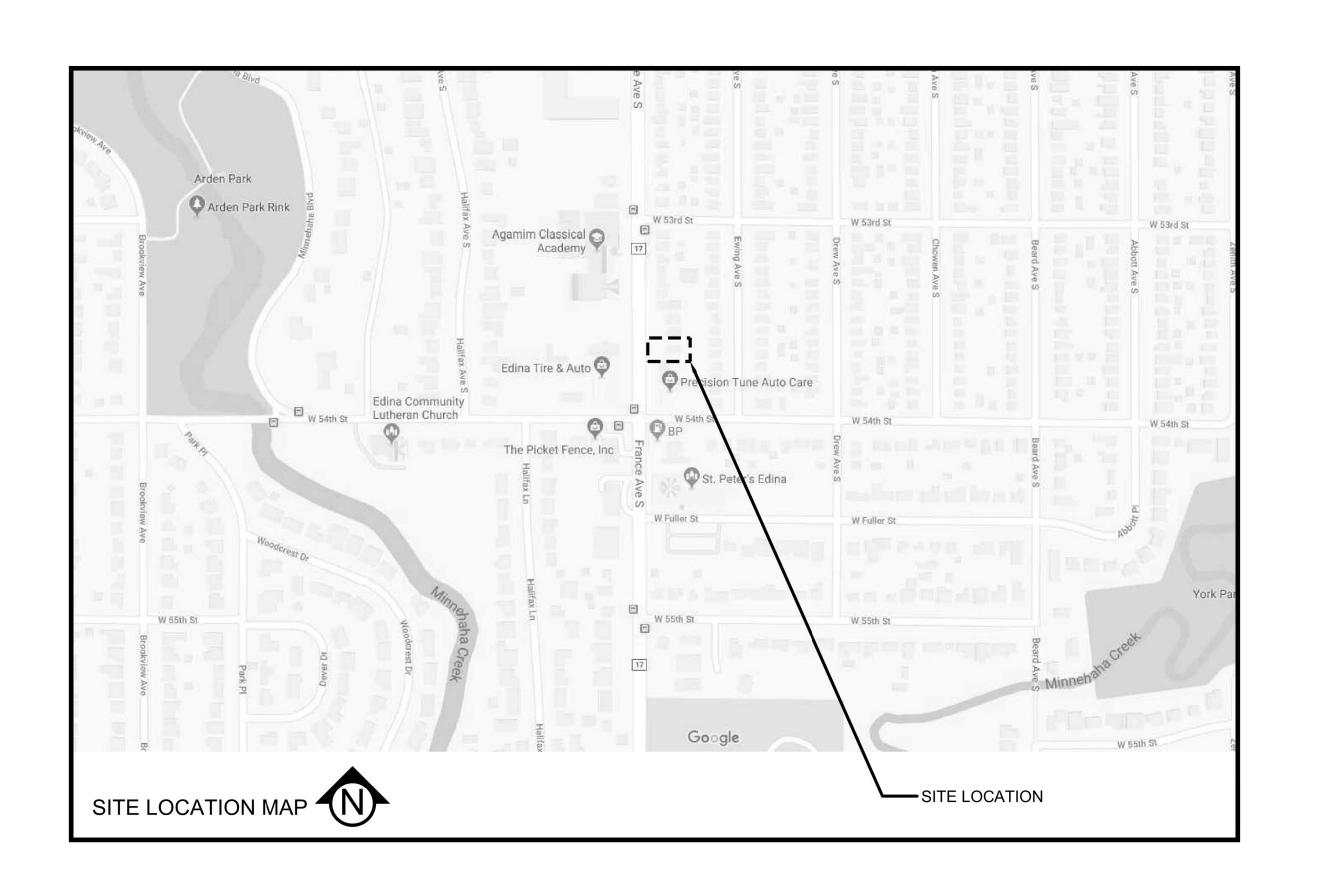
Sheet Title

PROPOSED ELEVATIONS

Sheet Number

# 5337 FRANCE AVENUE S

MINNEAPOLIS, MINNESOTA
ISSUED FOR: PDR SUBMITTAL



### DEVELOPER / PROPERTY OWNER:

SCHAEFCO DEVELOPMENT, LLC 2116 2ND AVENUE SOUTH MINNEAPOLIS, MN 55404 612-254-7444

### ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP 4931 W 35TH STREET SUITE 200 ST LOUIS PARK, MN 55416 612-615-0060

### SURVEYOR:

CIVIL SITE GROUP 4931 W 35TH STREET SUITE 200 ST LOUIS PARK, MN 55416 612-615-0060

### **GEOTECHNICAL ENGINEER:**

TBD

### MASTER LEGEND: EX. 1' CONTOUR ELEVATION INTERVAL PROPOSED MANHOLE STORM EXISTING SPOT GRADE ELEVATION PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM 1.0' CONTOUR ELEVATION INTERVAL <del>----1</del>137----PROPOSED GATE VALVE SPOT GRADE ELEVATION (GUTTER/FLOW LINE PROPOSED FIRE HYDRANT UNLESS OTHERWISE NOTED) PROPOSED MANHOLE SANITARY 891.00 G SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP) PROPOSED SIGN 891.00 TC SPOT GRADE ELEVATION TOP OF WALL 891.00 BS/TS SPOT GRADE ELEVATION BOTTOM OF WALL PROPOSED LIGHT DRAINAGE ARROW PROPOSED SANITARY SEWER PROPOSED STORM SEWER SILT FENCE / BIOROLL - GRADING LIMIT PROPOSED WATER MAIN INLET PROTECTION **EXISTING SANITARY SEWER** EXISTING STORM SEWER STABILIZED CONSTRUCTION ENTRANCE **EXISTING WATER MAIN EXISTING GAS MAIN** SOIL BORING LOCATION EXISTING UNDERGROUND ELECTRIC CURB AND GUTTER (T.O = TIP OUT) EXISTING UNDERGROUND CABLE EXISTING MANHOLE EXISTING STOPBOX ☆ EXISTING LIGHT ☐ EXISTING CATCH BASIN EXISTING GATE VALVE EXISTING GAS METER EXISTING GAS VALVE ■ EXISTING ELECTRIC BOX **EXISTING HYDRANT**

SHEET INDEX SHEET NUMBER | SHEET TITLE C0.0 | TITLE SHEET V1.0 | SITE SURVEY C1.0 REMOVALS PLAN C2.0 SITE PLAN C3.0 GRADING PLAN C4.0 UTILITY PLAN C5.0 CIVIL DETAILS L1.0 LANDSCAPE PLAN L1.1 LANDSCAPE PLAN NOTES & DETAILS SW1.0 SWPPP - EXISTING CONDITIONS DRAWN BY:KB REVIEWED BY: PJS SW1.1 SWPPP - PROPOSED CONDITIONS PROJECT NUMBER: 19204 SW1.2 SWPPP - DETAILS REVISION SUMMARY SW1.3 SWPPP - NARRATIVE DATE DESCRIPTION TITLE SHEET

AANCE AVENUE S
MINNEAPOLIS, MN 55410

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.

Matthew R. Pavek

**SC**|

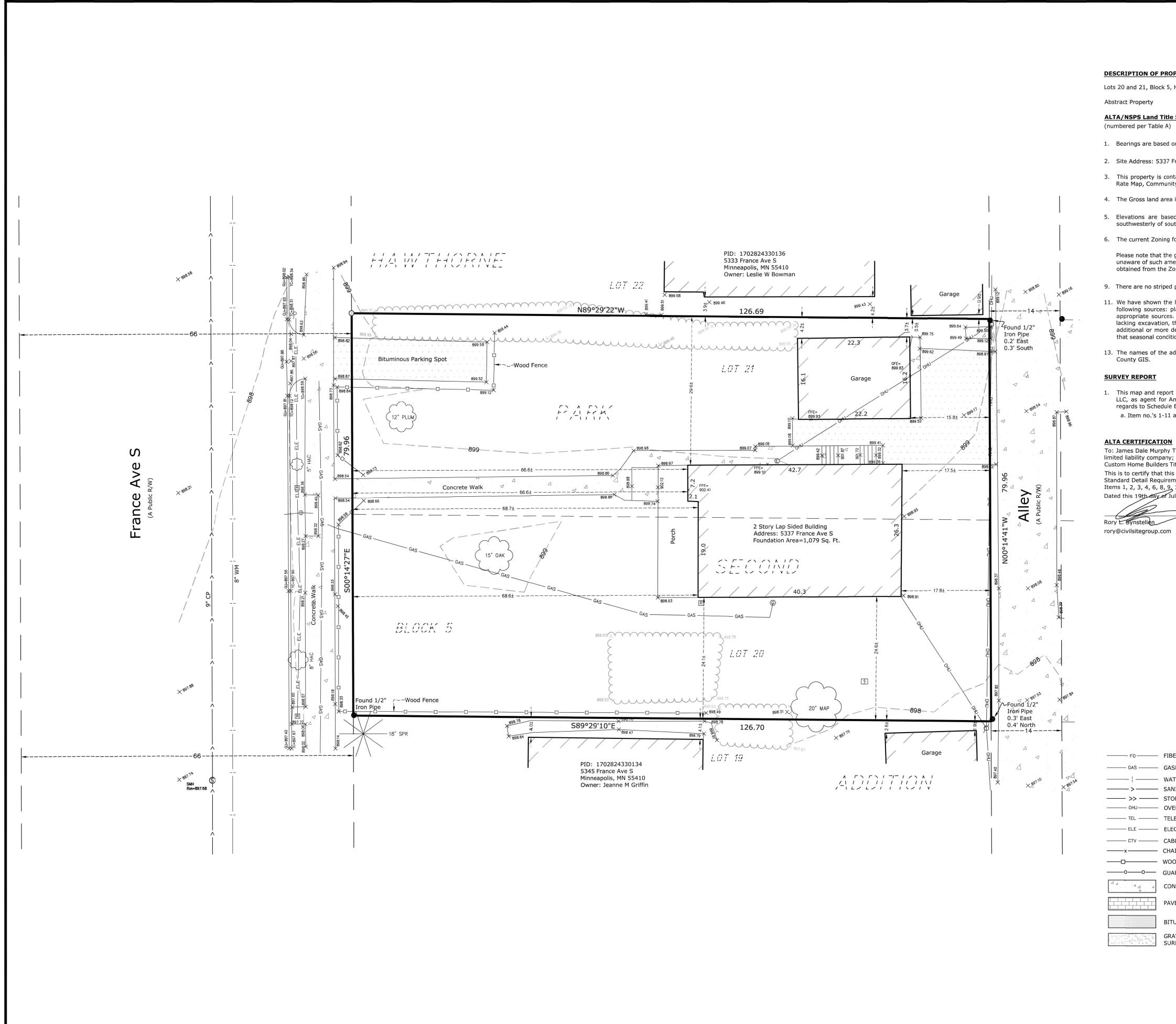
Mattnew R. Pavek

DATE 08/23/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION

08/23/19 PDR SUBMITTAL



### **DESCRIPTION OF PROPERTY SURVEYED**

Lots 20 and 21, Block 5, Hawthorne Park Second Division, Hennepin County, Minnesota.

### **ALTA/NSPS Land Title Survey Notes**

- 1. Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- 2. Site Address: 5337 France Ave S, Minneapolis, MN 55410.
- 3. This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27053C0364F, effective date of November 4, 2016.
- 4. The Gross land area is 10,130 +/- square feet or 0.233 +/- acres.
- 5. Elevations are based on the NGVD 29 Datum. Site Benchmark is the top rim of the sanitary manhole located 31' +/southwesterly of southwest property corner. Elevation = 897.68.
- 6. The current Zoning for the subject property was not provided.

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

- 9. There are no striped parking stalls on subject property.
- 11. We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- 13. The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin

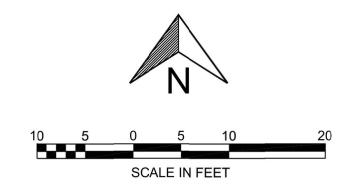
### SURVEY REPORT

1. This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Custom Home Builders Title, LLC, as agent for American Land Title Association, File No. HB-38489, dated October 16, 2018. We note the following with regards to Schedule B of the herein referenced Title Commitment: a. Item no.'s 1-11 are not survey related.

To: James Dale Murphy Tincher and Susan Elaine Murphy Tincher, as joint tenants; Schaefco Development, LLC, a Minnesota limited liability company; Excelsior Capital Sub I, LLC, its successors and/or assigns as their respective interests may appear; Custom Home Builders Title, LLC, as agent for American Land Title Association:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 8, 9, 11, and 13 of Table A thereof. The field work was completed on June 28, 2019. Dated this 19th day of July, 2019.

Rory L. Synstelien rory@civilsitegroup.com



# Linetype & Symbol Legend

——— F0———	FIBER OPTIC	-0-	SIGN	Α	AIR CONDITIONER
——— GAS ———	GASMAIN	0	UTILITY MANHOLE	⊕	BOLLADO
	WATERMAIN	S	SANITARY MANHOLE		BOLLARD
<del>&gt;</del>	SANITARY SEWER	(ST)	STORM MANHOLE	(E)	ELECTRIC MANHOLE
	STORM SEWER	$\bigoplus$	CATCH BASIN	<b>∽</b>	FLAG POLE
——— OHU———	OVERHEAD UTILITIES	R	ROOF DRAIN	$\triangleleft$	FLARED END SECTION
——— TEL ———	TELEPHONE LINE	П	TELEPHONE BOX	$\bowtie$	GAS VALVE
—— ELE ——	ELECTRIC LINE	<b>(T)</b>	TELEPHONE MANHOLE	E	HANDICAP SYMBOL
CTV	CABLE LINE	_			HYDRANT
——x——	CHAINLINK FENCELINE	TR	ELECTRIC TRANSFORMER	V	
	WOODEN FENCELINE	8	TRAFFIC SIGNAL	<b>W</b>	WATER MANHOLE
<del></del> o	GUARDRAIL	C	CABLE TV BOX	$\boxtimes$	WATER VALVE
4	CONCRETE SURFACE	€	ELECTRICAL METER	D	POWER POLE
✓ .		©	GAS METER	$\downarrow$	GUY WIRE
	PAVER SURFACE	_		*	CONIFEROUS TREE
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	GRAVEL/LANDSCAPE SURFACE		CAST IRON MONUMENT		



CivilSiteGroup.com

53

velopment, Schaefco De 2116 Second Ave

TLC

I HEREBY CERTIFY THAT THIS PLAN,

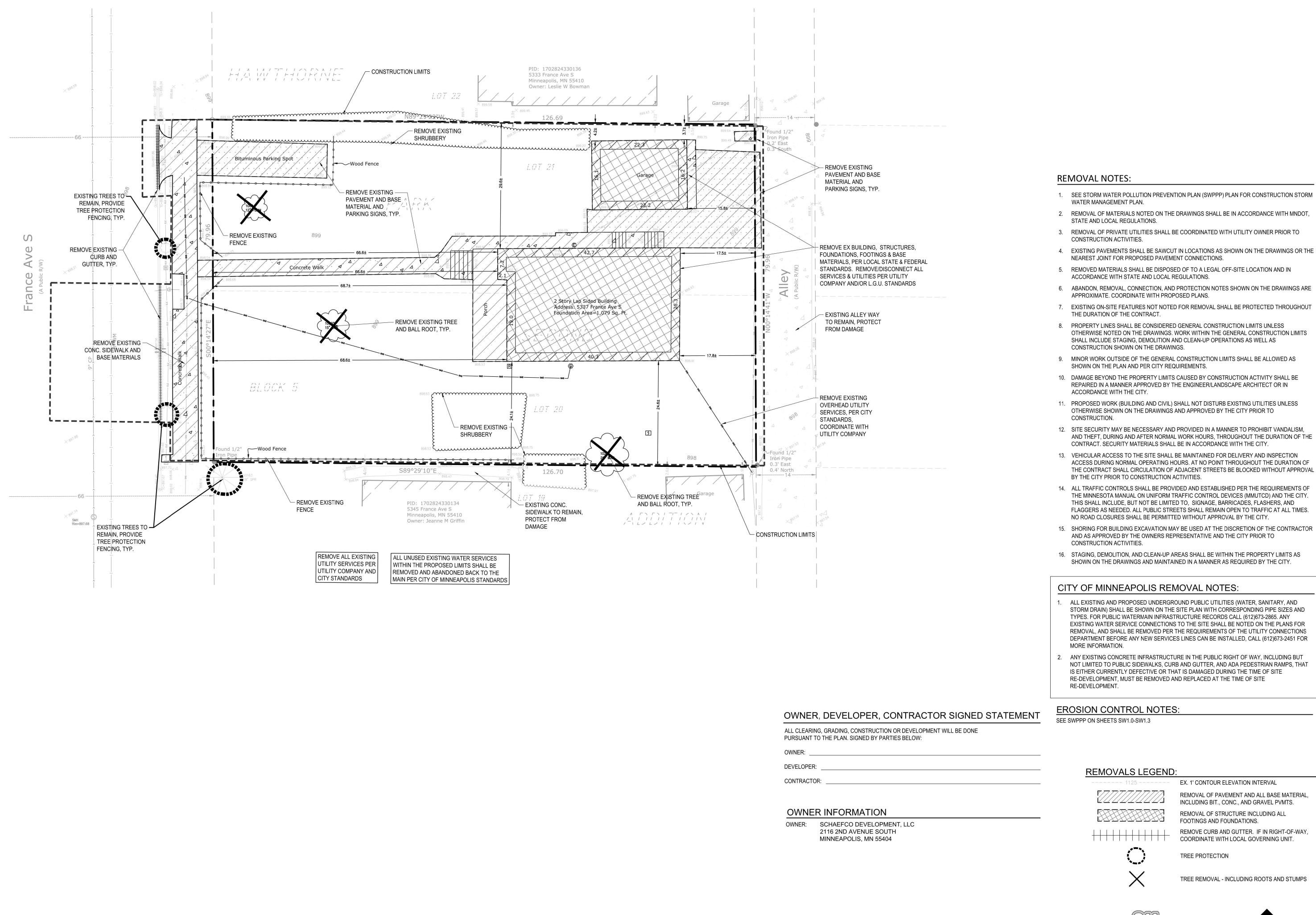
SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE 7-19-19 LICENSE NO. 44565

VICINITY MAP REVISION SUMMARY

DATE DESCRIPTION

PROJECT NO.: 19204 ALTA/NSPS LAND TITLE SURVEY



GROUP 4931 W. 35th Street, Suite 200 St. Louis Park, MN 55416 civilsitegroup.com 612-615-0060

**U** 0

**S**(2110

I HEREBY CERTIFY THAT THIS PLAN.

SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT

SUPERVISION AND THAT I AM A DULY

LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

Matthew R. Pavek

DATE 08/23/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

REVIEWED BY: PJS

DATE DESCRIPTION

08/23/19 PDR SUBMITTAL

DRAWN BY:KB

PROJECT NUMBER: 19204

DATE DESCRIPTION

REVISION SUMMARY

REMOVALS PLAN

1. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM

2. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT,

3. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO

5. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN

6. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE

7. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT

8. PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS

9. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS

10. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN

11. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO

12. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE

13. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL

14. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES.

15. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO

16. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS

1. ALL EXISTING AND PROPOSED UNDERGROUND PUBLIC UTILITIES (WATER, SANITARY, AND STORM DRAIN) SHALL BE SHOWN ON THE SITE PLAN WITH CORRESPONDING PIPE SIZES AND TYPES. FOR PUBLIC WATERMAIN INFRASTRUCTURE RECORDS CALL (612)673-2865. ANY EXISTING WATER SERVICE CONNECTIONS TO THE SITE SHALL BE NOTED ON THE PLANS FOR REMOVAL, AND SHALL BE REMOVED PER THE REQUIREMENTS OF THE UTILITY CONNECTIONS DEPARTMENT BEFORE ANY NEW SERVICES LINES CAN BE INSTALLED, CALL (612)673-2451 FOR

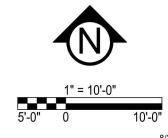
ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE

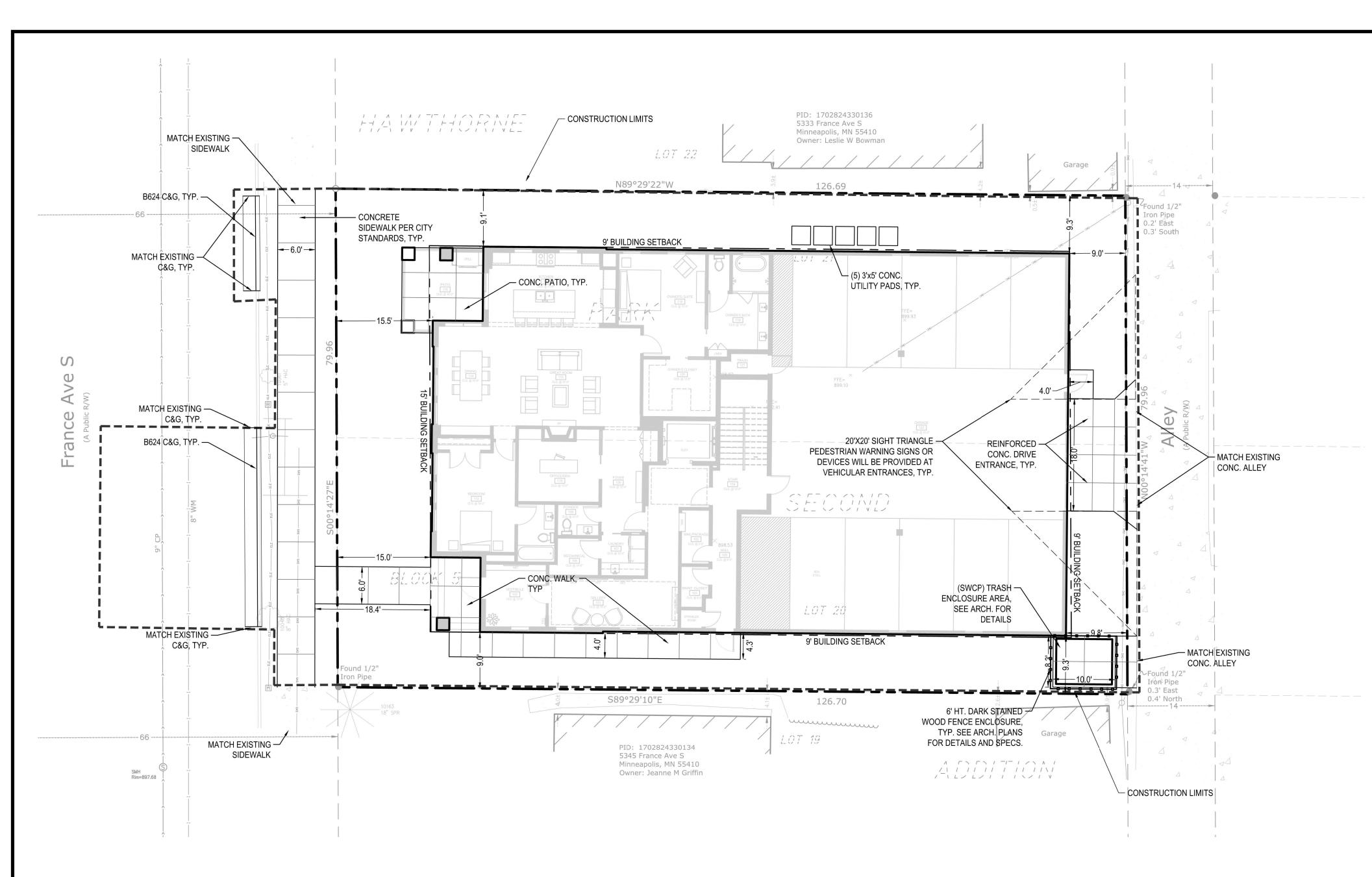
> REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS. REMOVAL OF STRUCTURE INCLUDING ALL

REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.

TREE REMOVAL - INCLUDING ROOTS AND STUMPS







OWNER INFORMATION

SCHAEFCO DEVELOPMENT, LLC 2116 2ND AVENUE SOUTH MINNEAPOLIS, MN 55404

### **OPERATIONAL NOTES:**

SNOW REMOVAL:

ALL SNOW SHALL BE STORED ON SITE IN LANDSCAPE AREAS OR TRUCKED OFF SITE AFTER EACH SNOW FALL.

TRASH REMOVAL:

**DELIVERIES**:

TRASH REMOVAL SHALL OCCUR AT SOLID WAS COLLECTION POINT CALLED OUT ON SITE PLAN.

DELIVERIES SHALL OCCUR AT BUILDING MAIN ENTRANCE.

### SITE LAYOUT NOTES:

- 1. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- 3. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- 4. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- 5. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT
- 6. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
- 7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- 8. PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE
- 9. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
- 11. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- 12. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- 13. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- 14. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE
- 15. ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
- 16. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- 17. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

CITY COORDINATION NOTES:

- TRAFFIC & PARKING
- 1.1. COORDINATE WITH JOSEPH LAURIN, CITY OF MINNEAPOLIS, (612) 673-5987 FOR ALL WORK REGARDING STREET LIGHTING AND ELECTRICAL SYSTEMS. STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY, CONTACT DAVE PREHALL (612) 673-5759. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT CONTRACTOR'S EXPENSE.
- 1.2. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL NON-STANDARD STREETSCAPE ELEMENTS IN THE PUBLIC RIGHT-OF-WAY SUCH AS: SHRUBS, PLANTERS, TREE GRATES AND OTHER LANDSCAPING ELEMENTS, SIDEWALK FURNITURE (INCLUDING BIKE RACKS AND BOLLARDS), AND SIDEWALK ELEMENTS OTHER THAN STANDARD CONCRETE WALKWAYS SUCH AS PAVERS, STAIRS, RAISED LANDINGS, RETAINING WALLS, ACCESS RAMPS, AND RAILINGS (NOTE: 2.4. IF IMPACTED SOIL IS ENCOUNTERED DURING SITE ACTIVITIES WORK WILL NEED TO STOP AND NOTIFICATION PROVIDED TO THE MIN STATE RAILINGS MAY NOT EXTEND INTO THE SIDEWALK PEDESTRIAN AREA). PLEASE CONTACT MATT HANAN AT (612) 673-3607 FOR FURTHER INFORMATION.
- 1.3. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED OPERATIONS (SUCH AS CONSTRUCTION CRANE BOOM SWINGS) THAT FALL WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT APPLICATION. IF THERE ARE TO BE ANY EARTH RETENTION SYSTEMS WHICH WILL EXTEND OUTSIDE THE PROPERTY LINE OF THE DEVELOPMENT THEN A PLAN MUST BE SUBMITTED SHOWING DETAILS OF THE SYSTEM. ALL SUCH ELEMENTS SHALL BE REMOVED FROM THE PUBLIC RIGHT-OF-WAY FOLLOWING CONSTRUCTION WITH THE EXCEPTION OF TIE-BACKS WHICH MAY REMAIN BUT MUST BE UNCOUPLED AND DE-TENSIONED. PLEASE CONTACT MATT HANAN AT (612) 673- 3607 FOR FURTHER INFORMATION.
- 1.4. COORDINATE WITH SCOTT KRAMER, CITY OF MINNEAPOLIS, (612) 673-2383 REGARDING ANY WORK THAT IS PERFORMED IN THE RIGHT-OF-WAY. AN OBSTRUCTION PERMIT WILL BE REQUIRED FOR ALL WORK IN THE RIGHT-OF-WAY. CONTACT SCOTT KRAMER REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES.
- 1.5. COORDINATE WITH CRAIG PINKALLA, CITY OF MINNEAPOLIS, (612) 499-9233 FOR ALL WORK REGARDING REMOVAL OR PROTECTION OF TREES DURING CONSTRUCTION IN THE CITY RIGHT-OF-WAY.
- 1.6. COORDINATE WITH PAUL CAO, CITY OF MINNEAPOLIS, (612) 673-2943 FOR ALL WORK REGARDING BIKE RACKS IN THE
- TEMPORARY REMOVAL/RELOCATION OF ANY CITY OF MINNEAPOLIS SIGNAL SYSTEM. ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC SHALL BE BORNE BY THE CONTRACTOR.

1.7. COORDINATE WITH ALLAN KLUGMAN, CITY OF MINNEAPOLIS, (612) 673-5750 PRIOR TO CONSTRUCTION FOR THE

- 1.8. CONTACT SHANE MORTON AT (612) 673-5517 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.
- ENVIRONMENTAL HEALTH
- 2.1. COORDINATE WITH ENVIRONMENTAL SERVICES, CITY OF MINNEAPOLIS, (612) 673-3867 FOR PERMITS RELATING TO AFTER HOURS WORK, TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE, REMEDIATION OF CONTAMINATED SOIL AND GROUNDWATER, REUSE OF IMPACTED SOILS ON SITE, DEWATERING AND

- DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER TO CITY SEWERS, FLAMMABLE WASTE TRAPS, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING, OR ON-SITE ROCK CRUSHING.
- 2.2. NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT.
- 2.3. IF CONTAMINATED SOIL IS ENCOUNTERED, IT MUST BE REPORTED TO THE MINNESOTA DUTY OFFICER AT (651) 649-5451. PREAPPROVAL FOR REMOVAL OR REUSE MUST OCCUR FROM THE MPCA AND THE CITY OF MINNEAPOLIS.
- DUTY OFFICER AT (615) 649-5451. 2.5. THE HIGHEST GROUNDWATER LEVEL EXPECTED FOR THIS SITE SHOULD BE DETERMINED AND USED IN ESTABLISHING THE LOWEST LEVEL FOR SUBGRADE STRUCTURES. IF SOIL BORINGS DEEPER THAN 15 FEET MUST BE DONE A TEMPORARY
- ENVIRONMENTAL WELL PERMIT MUST BE OBTAINED BY ENVIRONMENTAL SERVICES. IF DEWATERING IS REQUIRED DURING SITE CONSTRUCTION SEE BELOW FOR CITY PERMIT REQUIREMENTS. SUBGRADE STRUCTURES SHOULD BE DESIGNED TO PREVENT INFILTRATION OF GROUNDWATER WITHOUT THE NEED FOR A PERMANENT DEWATERING SYSTEM BEING INSTALLED. IF A CONTINUOUSLY OPERATING PERMANENT DEWATERING SYSTEM IS NEEDED IT MUST BE APPROVED AS PART OF THE SANITARY SEWER AND STORM DRAIN SITE PLAN APPROVAL PRIOR TO CONSTRUCTION BEGINNING.
- 2.6. NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612-673-3516 FOR PERMIT INFORMATION.
- 2.7. PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, TEMPORARY ENVIRONMENTAL WELLS, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT 612-673-5807 FOR PERMIT APPLICATIONS AND
- FORESTRY DEPARTMENT
- 3.1. TO PROTECT ROOT ZONES, NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE PLACED, PARKED, OR STORED ON ANY UNPAVED AREA WITHIN THE DRIP LINE OF ANY CITY OWNED TREE. NO CHEMICALS OR PETROLEUM PRODUCTS SHALL BE DEPOSITED ON ANY UNPAVED AREA IN THE CITY RIGHT-OF-WAY.
- 3.2. ANY TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT USING HAND TOOLS.

3.3. NO OPEN EXCAVATION OR BORE PITS ALLOWED WITHIN 8 FEET OF CITY STREET TREES.

3.4. CARE SHALL BE TAKEN NOT TO DAMAGE TREE TRUNKS OR BRANCHES. CONTRACTOR MUST CONTACT FORESTRY DEPARTMENT INSPECTIONS (CRAIG PINKALLA) AT (612) 499-9233 AT LEAST 3 DAYS PRIOR TO STARTING WORK TO DISCUSS PROBLEMS OF OVERHANGING BRANCHES THAT MAY BE DAMAGED.

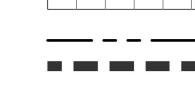
### SITE AREA TABLE:

SITE AREA CALCULATIONS							
	EXISTING			PROPOSED			
BUILDING COVERAGE	1,631 SF	16.1%	6,075 SF	60.0%			
ALL PAVEMENTS	1,160 SF	11.5%	875 SF	8.6%			
ALL NON-PAVEMENTS	7,339 SF	72.4%	3,180 SF	31.4%			
TOTAL SITE AREA	10,130 SF	100.0%	10,130 SF	100.0%			
IMPERVIOUS SURFACE							
<b>EXISTING CONDITION</b>	2,791 SF	27.6%					
PROPOSED CONDITION	6,950 SF	68.6%	6,950 SF	68.6%			
DIFFERENCE (EX. VS PROP.)	4,159 SF	41.1%					
IMPERVIOUS TOTAL	6,950 SF	68.6%					

### CITY OF MINNEAPOLIS SITE SPECIFIC NOTES:

1. ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE RE-DEVELOPMENT.

### SITE PLAN LEGEND:



CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, SEE DETAIL.

PROPERTY LINE

CONSTRUCTION LIMITS CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT



TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS

GUTTER WHERE APPLICABLE-SEE PLAN



SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED. HC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE ST = STOP CP = COMPACT CAR PARKING ONLY



SITE PLAN

REVISION SUMMARY

REVIEWED BY: PJS

GROU

civilsitegroup.com

4931 W. 35th Street, Suite 200 St. Louis Park, MN 55416

612-615-0060

**U** 0

SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

Matthew R. Pavek

DATE 08/23/19 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

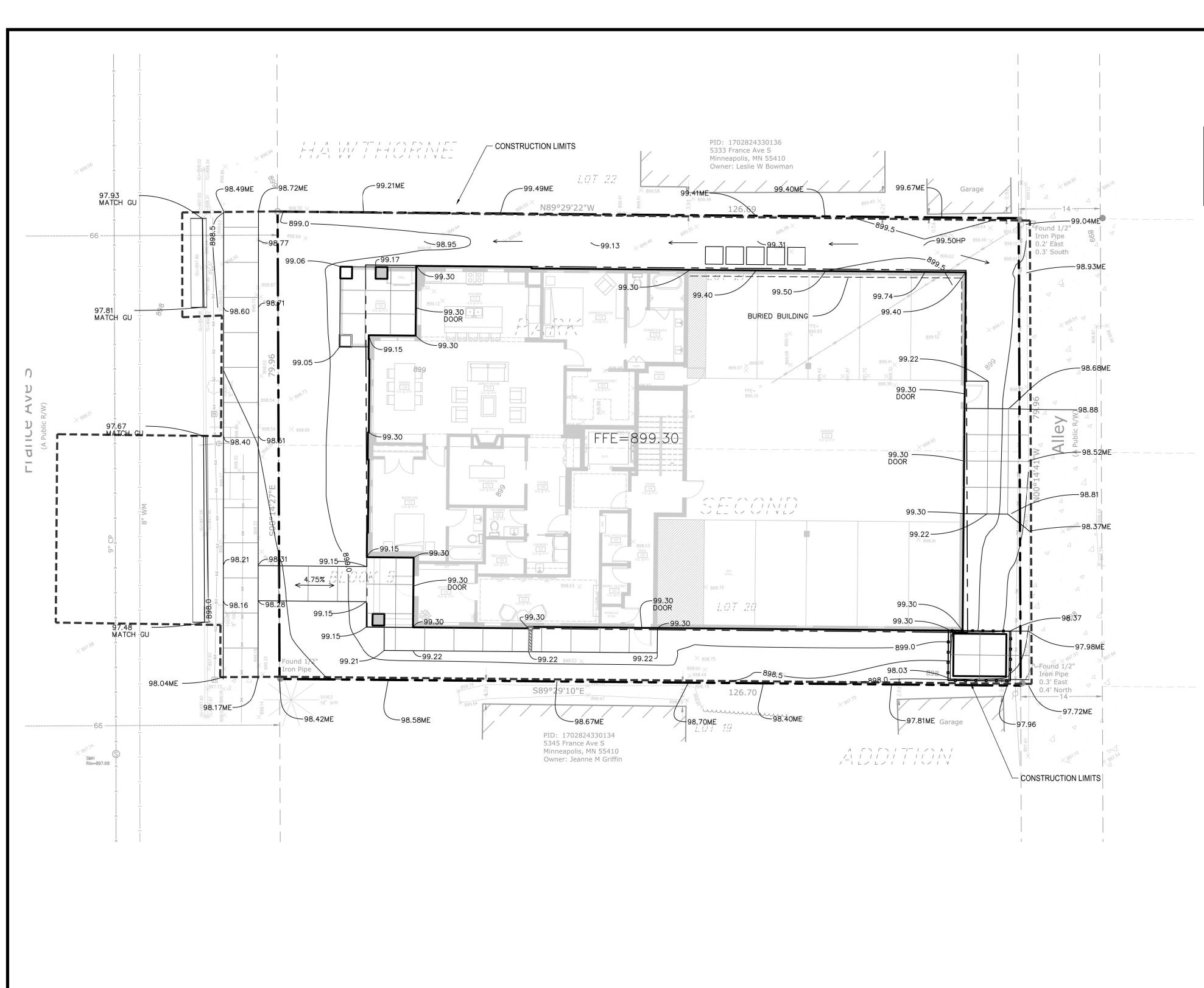
DATE DESCRIPTION

08/23/19 PDR SUBMITTAL

ORAWN BY:KB

PROJECT NUMBER: 19204

DATE DESCRIPTION



### **EROSION CONTROL NOTES:**

SEE SWPPP ON SHEETS SW1.0-SW1.3

### CITY OF MINNEAPOLIS GRADING NOTES:

OWNERS AND OPERATORS ARE RESPONSIBLE FOR COMPLYING WITH REGULATIONS AND OBTAINING ANY NECESSARY COVERAGE UNDER THE MPCA'S GENERAL PERMIT TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. MN R100001).

### **GENERAL GRADING NOTES:**

- 1. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
- 2. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- 3. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR AQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE
- 4. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
- PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- 6. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
- 7. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
- PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- 10. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- 11. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- 12. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW
- 13. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.
- 14. TOLERANCES
- 14.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
- 14.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
- 14.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY
- 14.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- MAINTENANCE
- 15.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
- 15.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
- 15.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

### NON STORM WATER DISCHARGES:

THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

### **GROUNDWATER STATEMENT:**

THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE STORM WATER SYSTEM.

### OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE

PURSUANT TO THE PLAN. SIGNED BY PARTIES BELOW:

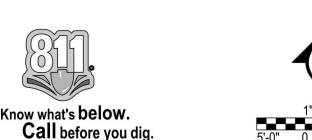
DEVELOPER:

CONTRACTOR:

### **GRADING PLAN LEGEND:**

----- 1125 ----- EX. 1' CONTOUR ELEVATION INTERVAL 41.26 SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED) 891.00 G SPOT GRADE ELEVATION GUTTER 891.00 TC SPOT GRADE ELEVATION TOP OF CURB 891.00 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS 891.00 ME SPOT GRADE ELEVATION MATCH EXISTING GRADE BREAK - HIGH POINTS

CURB AND GUTTER (T.O = TIP OUT)



8/23/2019 10:43 AM

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4931 W. 35th Street, Suite 200 St. Louis Park, MN 55416

612-615-0060

civilsitegroup.com

I HEREBY CERTIFY THAT THIS PLAN. SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER

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UNDER THE LAWS OF THE STATE OF Matthew R. Pavek DATE 08/23/19 LICENSE NO. 44263

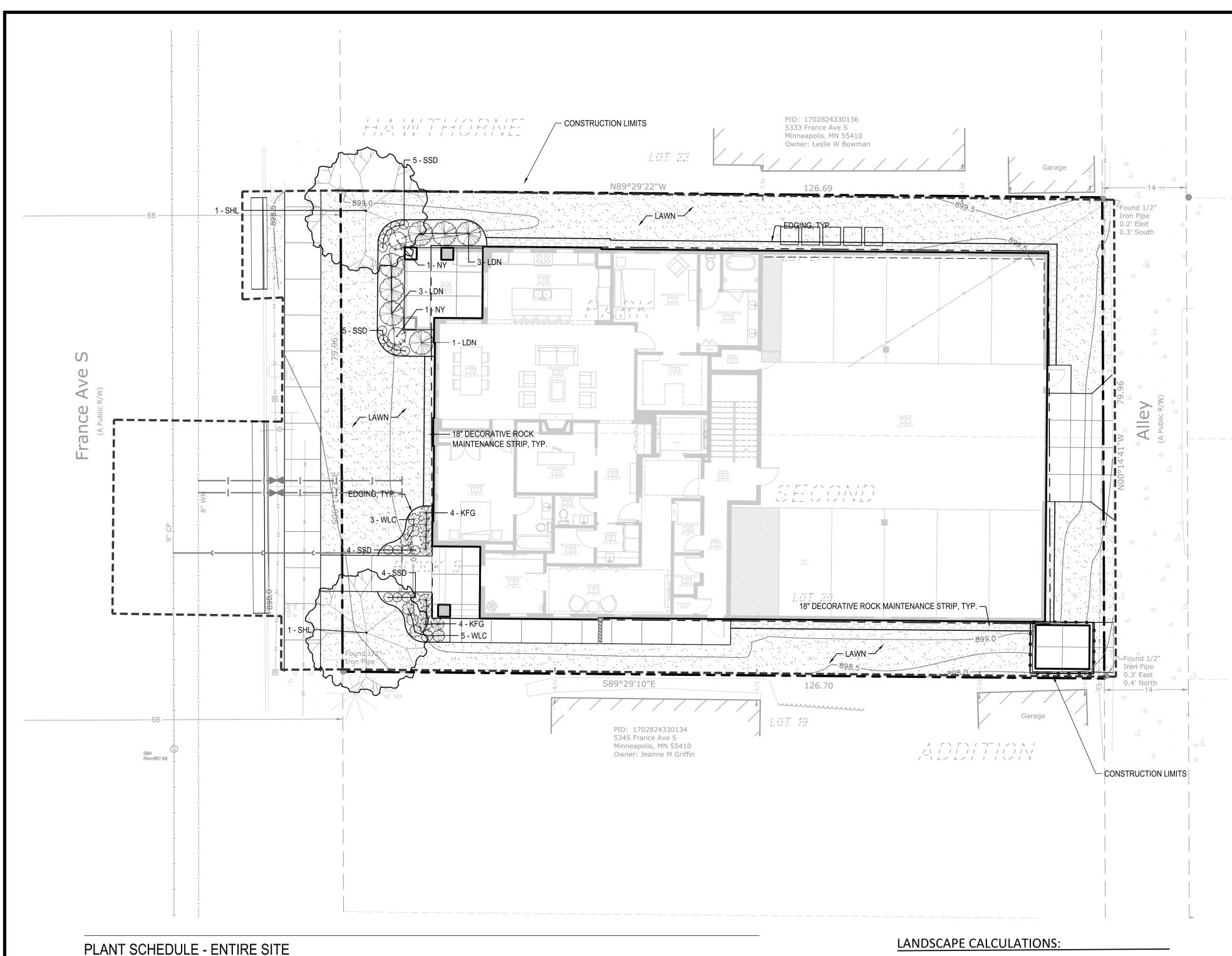
ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION 08/23/19 PDR SUBMITTAL

DRAWN BY:KB REVIEWED BY: PJS

PROJECT NUMBER: 19204 REVISION SUMMARY DATE DESCRIPTION

**GRADING PLAN** 



	SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POLLINATOR FRIENDLY	NATIVE	COMMENTS
	DECIDUOUS TREES								
TREES	SHL	2	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	2.5" CAL.	B&B			STRAIGHT LEADER. FULL FORM
			SHRUBS - CONIFEROUS & EVERGREEN						
SHRUBS	NY	2	NOVA YEW	Taxus cuspidata 'Nova'	36" HT.	CONT.			
9 ON-SITE	LDN	7	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Donna May'	24" HT.	CONT.	Х	Х	
			PERENNIALS & GRASSES						
	KFG	8	KARL FOERSTER GRASS	Calamagrostis x acutiflora "Karl Foerster"	#1	CONT.			
	SSD	18	STELLA SUPREME DAYLILY	Hemerocallis 'Stella Supreme'	#1	CONT.	Х	Х	
	WLC	8	WALKER'S LOW CATMINT	Nepeta x faassenii 'Walker's Low'	#1	CONT.	Х	Х	

PROPOSED LANDSCAPE AREA CALCULATION: SITE AREA - BUILDING COVERAGE = OPEN SPACE

10,130.0 SF - 6,075.0 SF = 4,055.0 SF

20% OF OPEN SPACE = LANDSCAPE AREA

20% X 4,055.0 SF = 811.0 SF REQUIRED 4,055.0 SF = 3,180.0 SF PROVIDED

PROPOSED IMPERVIOUS RATIO

PROPOSED LANDSCAPE: 1 TREE/ 500 SF OF "LANDSCAPE AREA" 811.0 SF / 500 = 2 TREES REQUIRED

SEE PLANT SCHEDULE

1 SHRUB/100 SF OR "LANDSCAPE AREA"

811.0 SF / 100 = 8.11 SHRUBS REQUIRED SEE PLANT SCHEDULE

### POLLINATOR SAFE PLANT MATERIAL:

- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER) CLOTHIANIDIN (PONCHO, DANTOSU, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIACLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
- 2. CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS..

### LANDSCAPE NOTES:

- 1. WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- 2. ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2" FROM TREE TRUNK.
- 3. IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- 4. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- 5. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- 6. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- 7. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 8. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- 10. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- 11. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- 12. REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES
- 13. PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.

**LEGEND** 

14. CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INLCUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

### CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:

ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF- WAY. THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING:HTTP://WWW.MINNEAPOLISMN.GOV/PUBLICWORKS/PLATES/INDEX.HTM).

GROUP

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER

THE LAWS OF THE STATE OF MINNESOTA

**SC** 2116.2

DATE 08/23/19 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY DATE DESCRIPTION 08/23/19 PDR SUBMITTAL

PROJECT NUMBER: 19204

DRAWN BY:KB REVIEWED BY: PJS

LANDSCAPE PLAN

SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES REVISION SUMMARY DATE DESCRIPTION

PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

SHREDDED CYPRESS MULCH, SAMPLES REQUIRED

1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC, SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN

AND PLAN FOR SPECIES AND PLANTING SIZES

PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT

PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT

SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE

PROVIDE EDGING AS SHOWN ON PLAN

LAWN - SOD

DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.









