

50TH & FRANCE DEVELOPMENT MINNEAPOLIS, MN

MINNEAPOLIS PDR SUBMITTAL #1 - 3 JUNE 2021



FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

PROJECT RENDERING 2
NTS G0.00



5011-5023 FRANCE AVE
MINNEAPOLIS, MN 55410

PROJECT SITE LOCATION MAP 1
NTS G0.00

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SHEET INDEX

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SNOW KREILICH ARCHITECTS

219 NORTH SECOND STREET
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612.259.9430
WWW.SNOWKREILICH.COM

50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT

Terre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201

Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144

O2 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713

Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120

MEP Associates a Salas Obrien Company
860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

BUILDING ENCLOSURE CONSULTANT : 612.284.7080

Pie Global
7625 Golden Triangle Drive, Suite T
Eden Prairie, MN 55344

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MINNEAPOLIS PDR SUBMITTAL #1 06.03.2021

2021.01 Author
Project Number Drawn By

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the State of Minnesota.

Signature

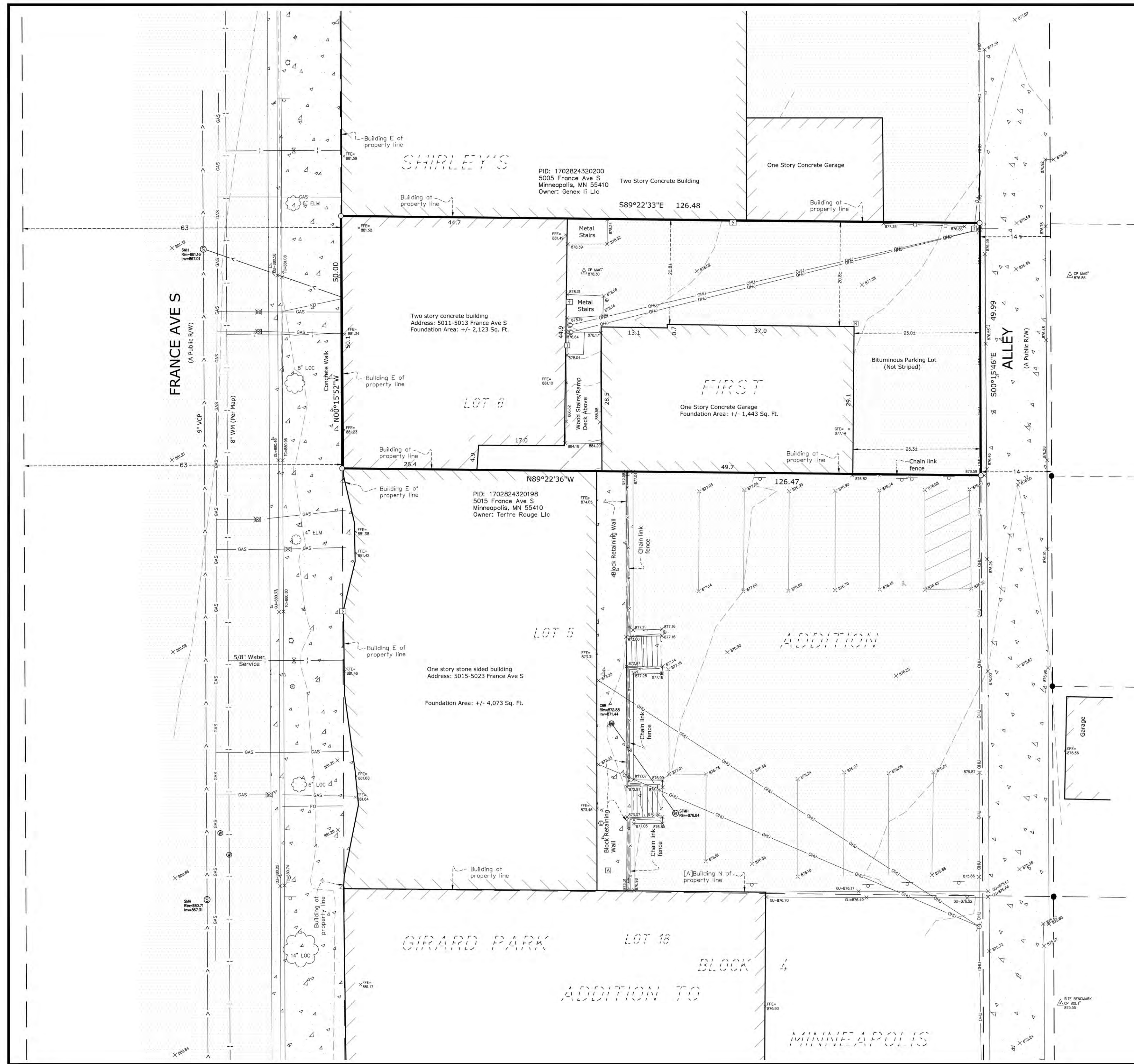
Typed or Printed Name

Registration Number

COVER SHEET

G0.00

5/27/2021 4:58:27 PM



DESCRIPTION OF PROPERTY SURVEYED
 Lot 6, Shirley's First Addition to Minneapolis, according to the recorded plat thereof.

Hennepin County, Minnesota
 Abstract Property

ALTA/NSPS Land Title Survey Notes
 (numbered per Table A)

- Bearings are based on the Hennepin County Coordinate System (1986 Adjustment).
- Site Address: 5011 France Ave S, Edina, MN 55410.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 2703303657, effective date of November 4, 2016.
- The Gross land area is 6,322 +/- square feet or 0.145 +/- acres.
- Elevations are based on the NVD 29 Datum. Site Benchmark is CP BOLT located in the alley to the south of subject property. Elevation=873.55.
- The current Zoning for the subject property was not provided.

Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.

- We did not observe any striped parking stall on subject property.
- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from Hennepin County GIS.

SURVEY REPORT

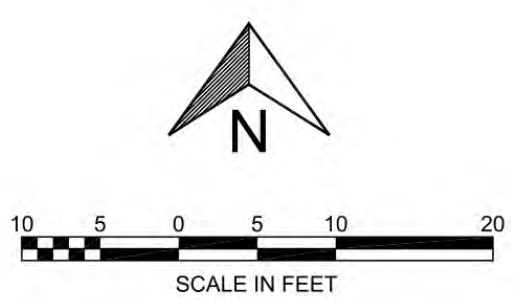
- This map and report was prepared with the benefit of a Commitment for Title Insurance issued by Commercial Partners Title, LLC, as agent for Old Republic National Title Insurance Company, File No. 57768, dated September 11, 2020. We note the following with regards to Schedule B of the herein referenced Title Commitment:
 - Item no.'s 1-9 are not survey related.

ALTA CERTIFICATION
 To: LCB Properties, LLC, a Minnesota limited liability company; Tertre Rouge LLC, a Minnesota limited liability company; Commercial Partners Title, LLC and Old Republic National Title Insurance Company and Title Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6, 8, 9, 11, and 13 of Table A thereof. The field work was completed on 10-21-2020.

Dated this 5th day of November, 2020.

Rory L. Synsteliën
 Minnesota License No. 44565
 rory@civilsitegroup.com



Linetype & Symbol Legend

FO	FIBER OPTIC	▽	SIGN	□	AIR CONDITIONER
GAS	GAS MAIN	○	UTILITY MANHOLE	●	BOLLARD
W	WATER MAIN	○	SANITARY MANHOLE	○	ELECTRIC MANHOLE
SS	SANITARY SEWER	○	STORM MANHOLE	◁	FLAG POLE
SS	STORM SEWER	○	CATCH BASIN	◁	FLARED END SECTION
OU	OVERHEAD UTILITIES	○	ROOF DRAIN	⊗	GAS VALVE
TEL	TELEPHONE LINE	□	TELEPHONE BOX	⊗	HANDICAP SYMBOL
ELE	ELECTRIC LINE	○	TELEPHONE MANHOLE	⊗	HYDRANT
TV	CABLE LINE	⊗	ELECTRIC TRANSFORMER	○	WATER MANHOLE
CF	CHAINLINK FENCELINE	⊗	TRAFFIC SIGNAL	⊗	WATER VALVE
W	WOODEN FENCELINE	⊗	CABLE TV BOX	⊗	POWER POLE
G	GUARDRAIL	○	ELECTRICAL METER	⊗	GUY WIRE
C	CONCRETE SURFACE	○	GAS METER	⊗	CONIFEROUS TREE
P	PAVER SURFACE	●	FOUND IRON MONUMENT	⊗	DECIDUOUS TREE
B	BITUMINOUS SURFACE	○	SET IRON MONUMENT		
G	GRAVEL/LANDSCAPE SURFACE	○	CAST IRON MONUMENT		

CivilSite GROUP
 Civil Engineering - Surveying - Landscape Architecture
 4851 W. 35th Street, Suite 200
 St. Louis Park, MN 55416
 civilsitegroup.com 612-615-0090

5011 France Ave S
 Minneapolis, Hennepin County, MN 55410

Lakes/Sotheby's International Realty
 221 N 1st St, Ste 100, Minneapolis, MN 55401

HEREBY CERTIFY THAT THIS SURVEY PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELIEN
 DATE 11-5-2020 LICENSE NO. 44565

QA/QC
FIELD CREW JWN
DRAWN BY JRN
REVIEWED BY CEJ
UPDATED BY



REVISION SUMMARY

DATE	DESCRIPTION

PROJECT NO. 20332
ALTA/NSPS LAND TITLE SURVEY
V1.0
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MINNEAPOLIS, MN 55410

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BUILDING ENCLOSURE CONSULTANT : 612.284.7080
Pie Global
7625 Golden Triangle Drive, Suite T
Eden Prairie, MN 55344

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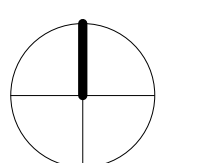
2021.01 Author
Project Number Drawn By

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the State of Minnesota.

Signature

Typed or Printed Name

Registration Number



SITE SURVEY (FOR REFERENCE ONLY)

GO.10

EXISTING SITE SURVEY NTS

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219 NORTH SECOND STREET
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412.239.9428
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1 LUA SETBACK REVISION	06.23.2021

2021.01	JH
Project Number	Drawn By

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Signature _____

Typed or Printed Name _____

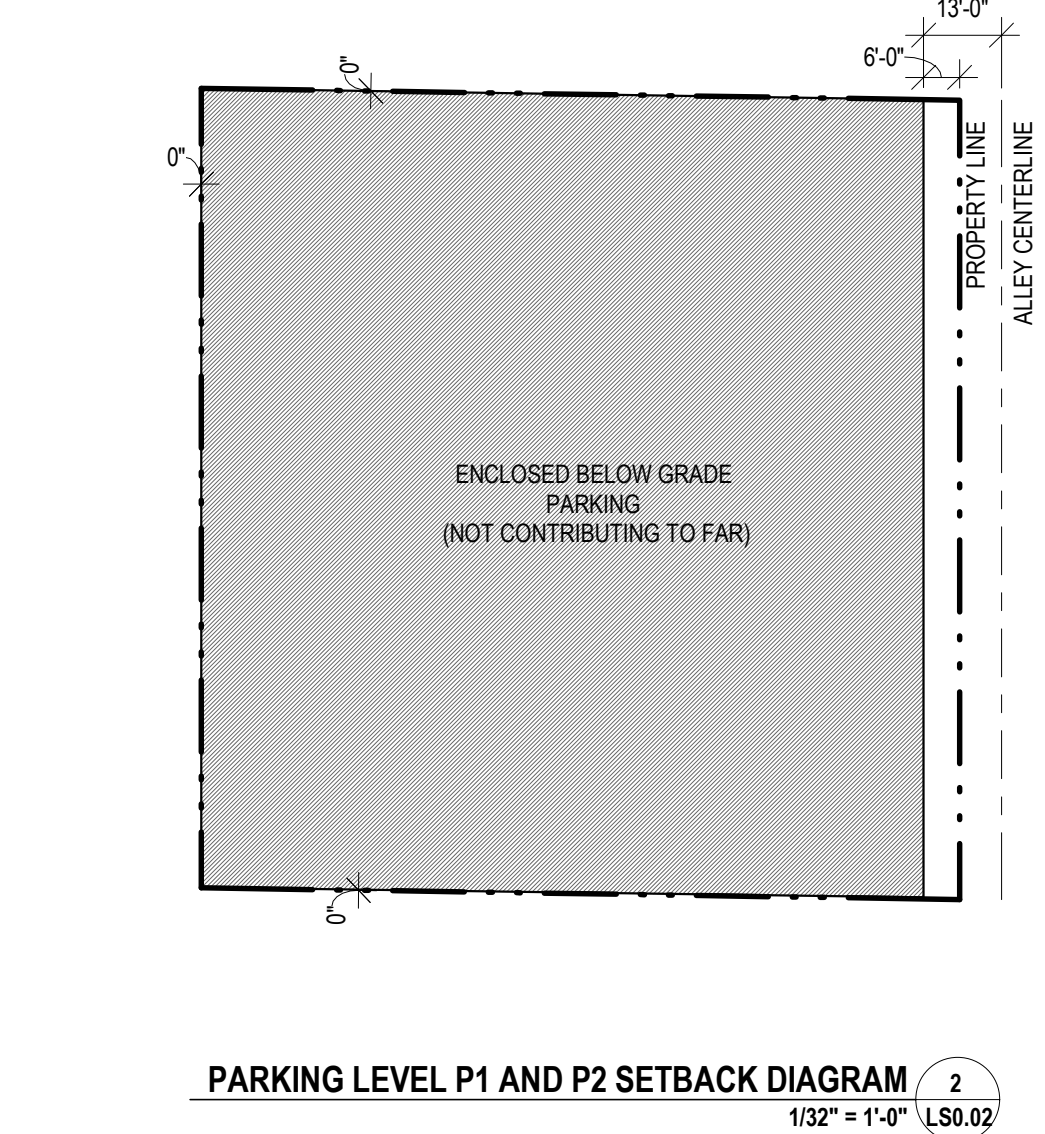
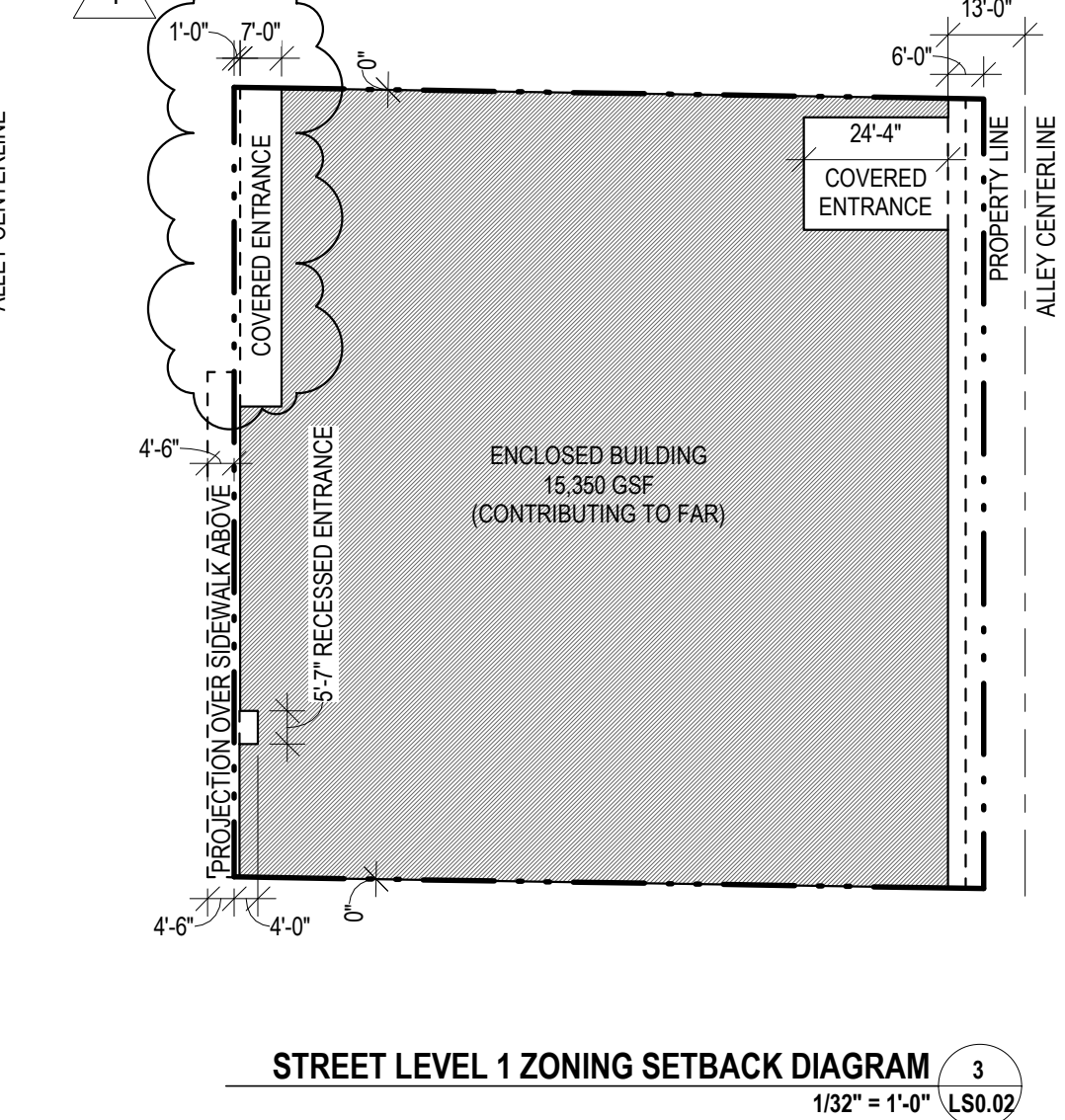
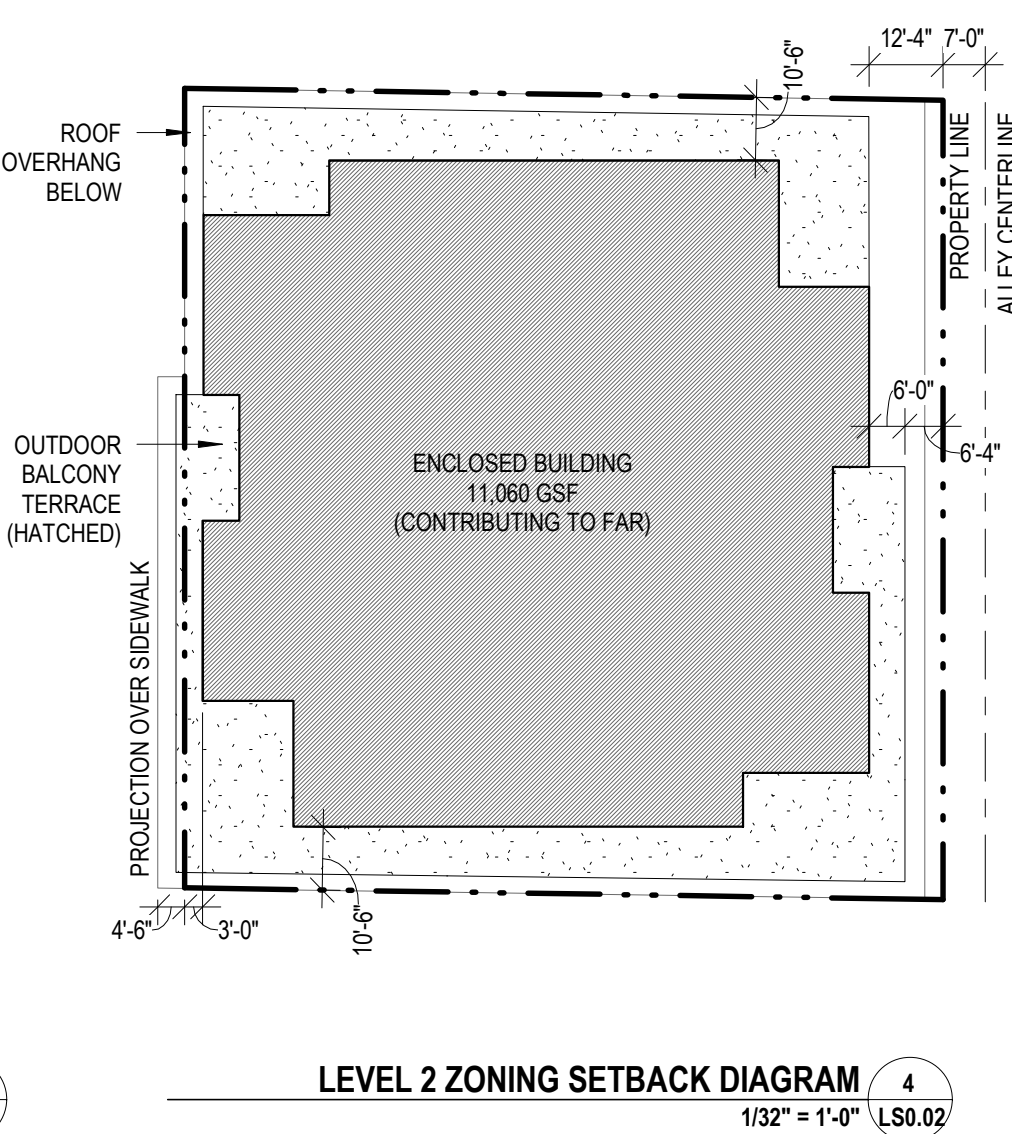
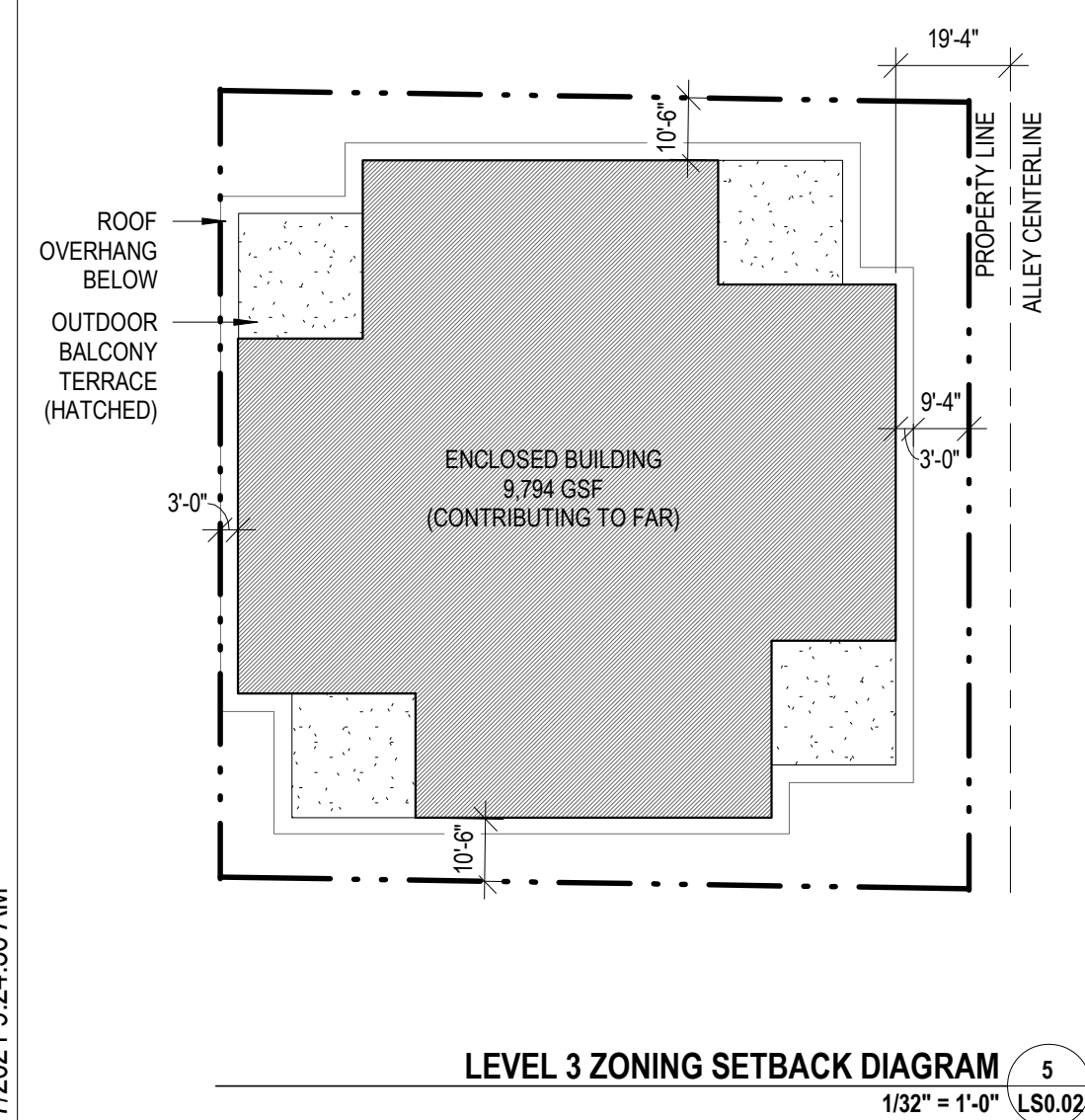
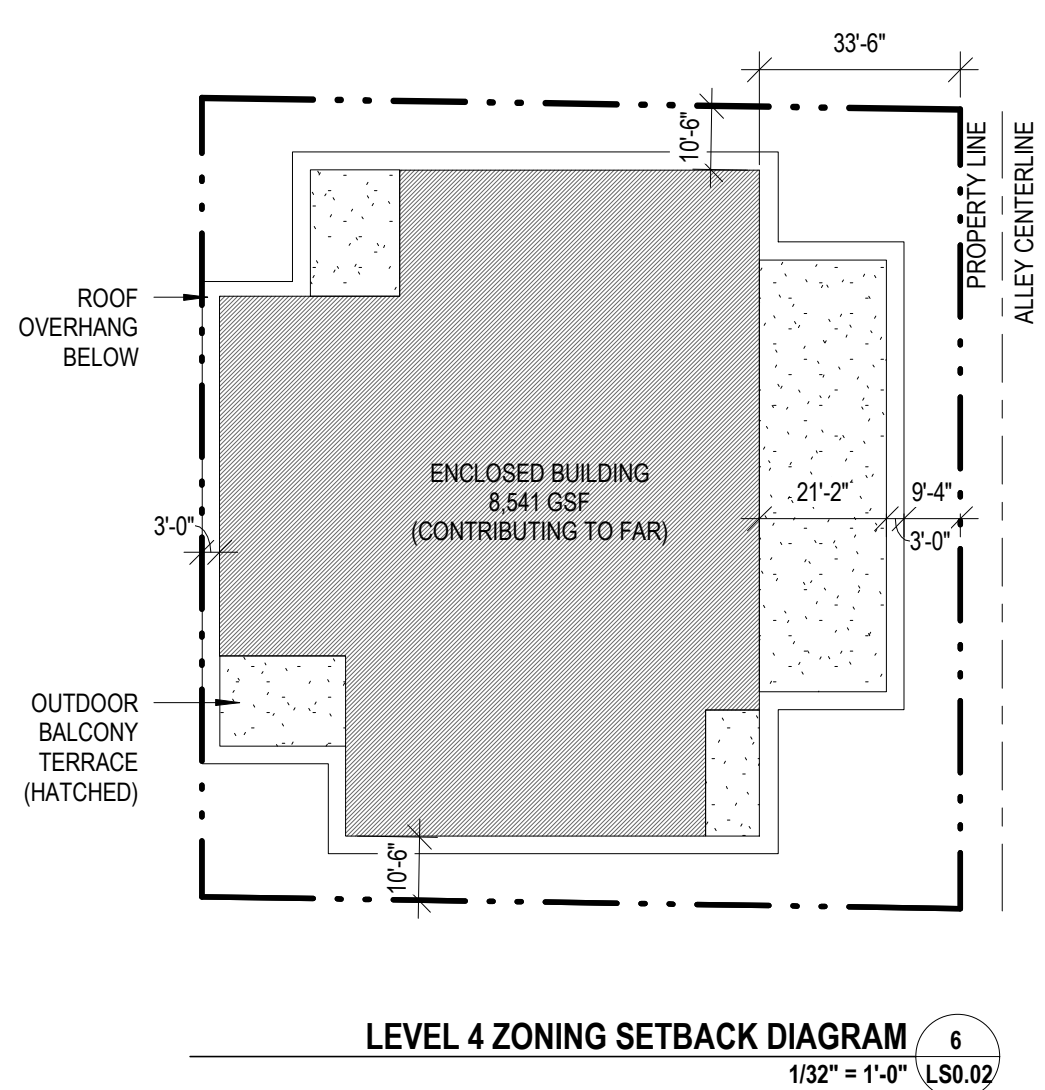
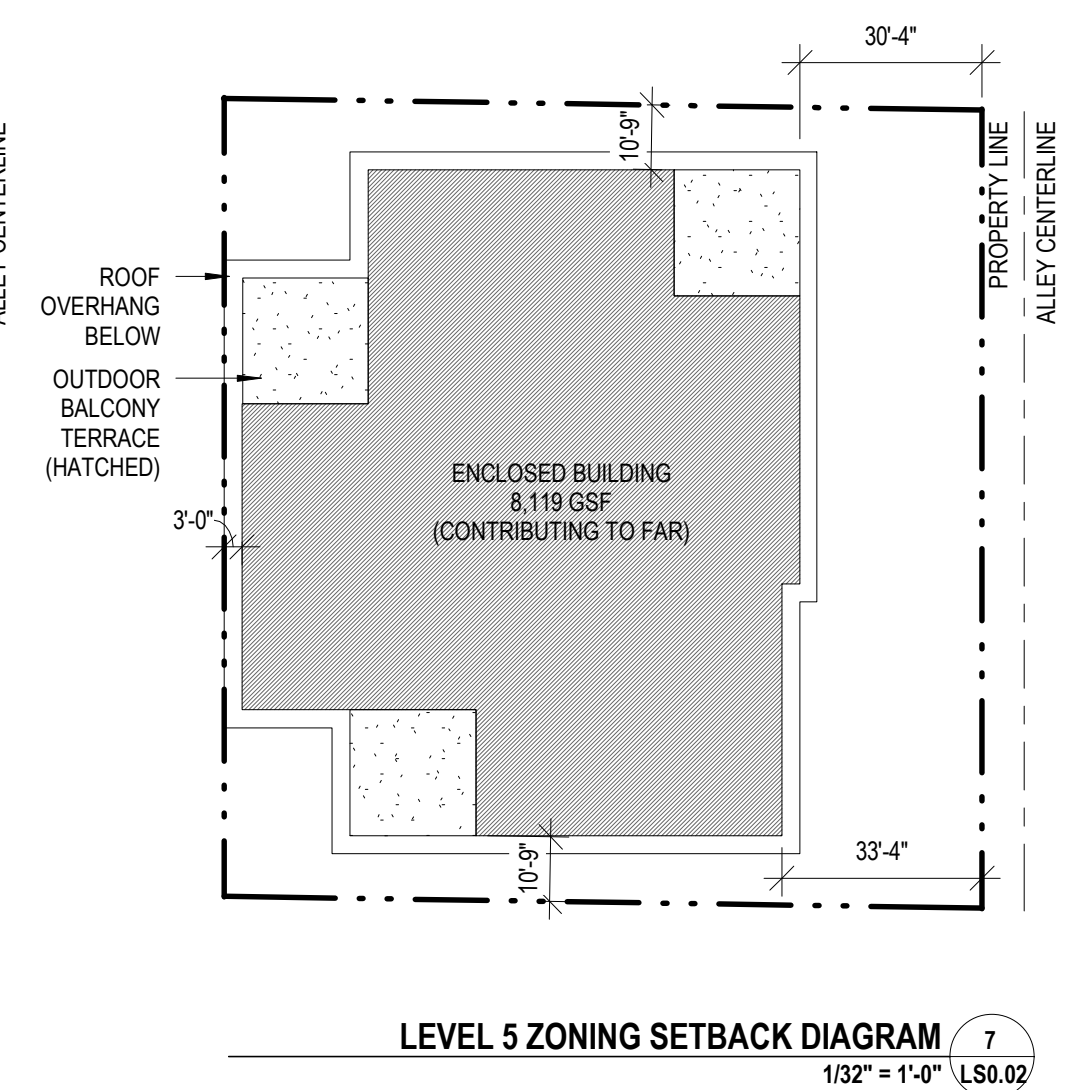
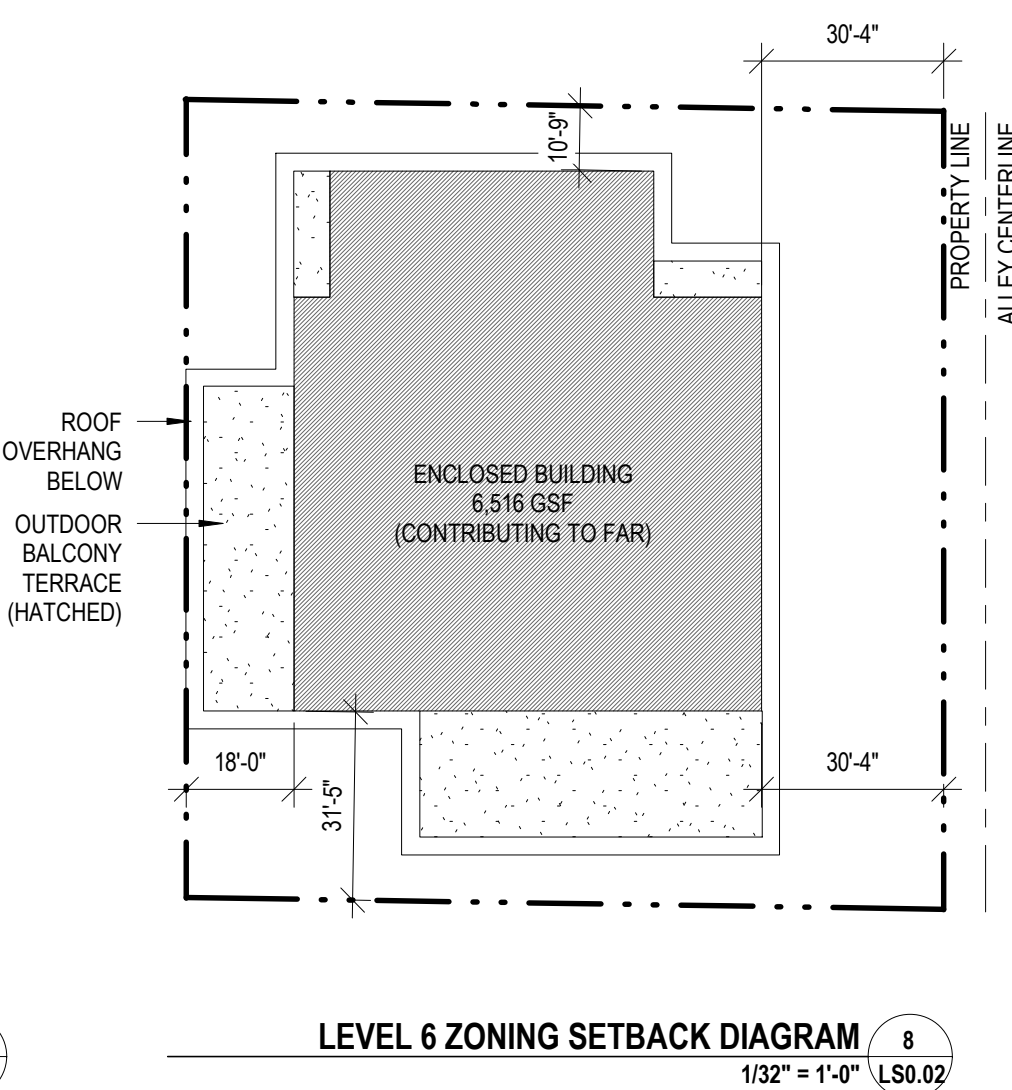
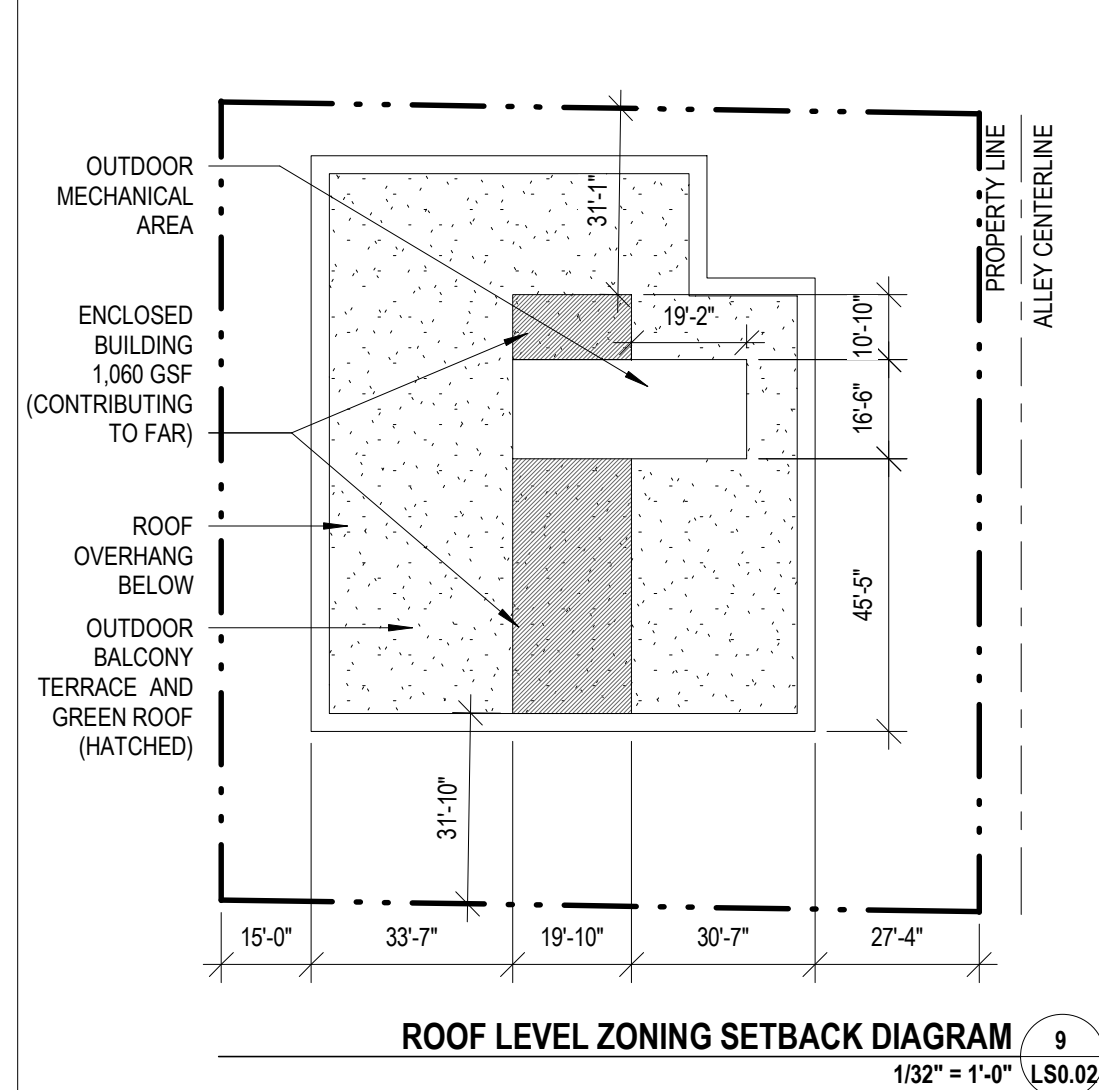
Registration Number _____



ZONING COMPLIANCE DIAGRAMS

LS0.02

6/17/2021 9:24:36 AM



Project Address
5015 France Avenue
Minneapolis, MN 55410

Zoning Parcel ID Numbers
1702824320199 5011 France Avenue
1702824320198 5015 France Avenue

Site Area
.366 ACRES - 16,832 SF

FAR
Maximum FAR (5 premiums) 3.6
Allowable FAR GSF 60,595 GSF
Proposed FAR GSF 60,584 GSF

Rear setback (RIA) 13'-0"
- From Alley Centerline

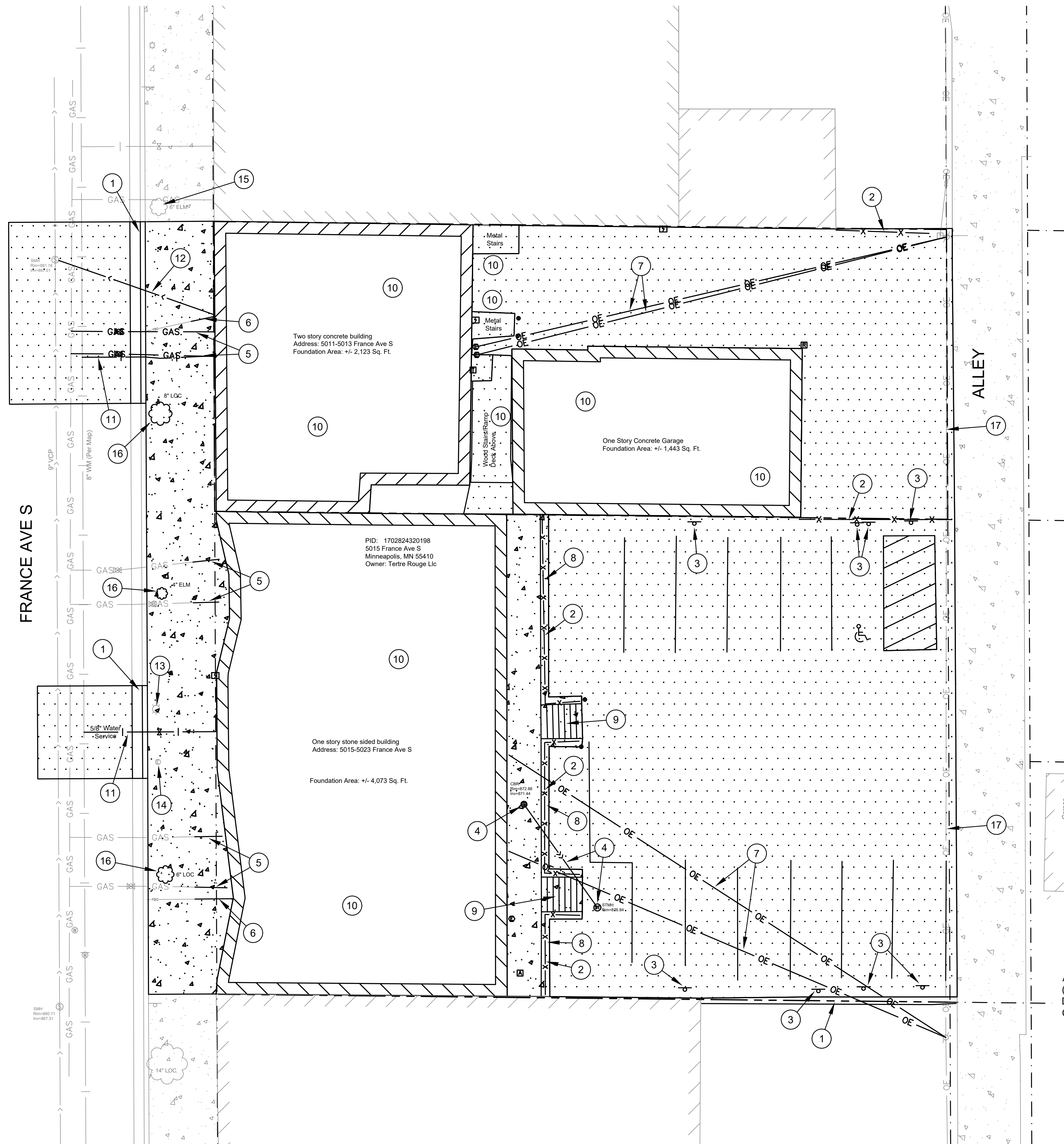
Program Area / Floor Allowed 15,162
Program Area Footprint 13,860

HEIGHT:
Proposed Height: 82'-9"
Proposed Number of Stories: 6

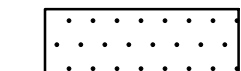

PARKING:
Total number of parking stalls: 51
- Including ADA stalls
Proposed parking stalls:
- Residential Below Grade: 32
- Office / Bank Below Grade: 19

ZONING COMPLIANCE INFORMATION 1
1/8" = 1'-0" LSO.02

5/11/2021 8:26:14 AM



SYMBOL LEGEND

-  REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
-  REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION

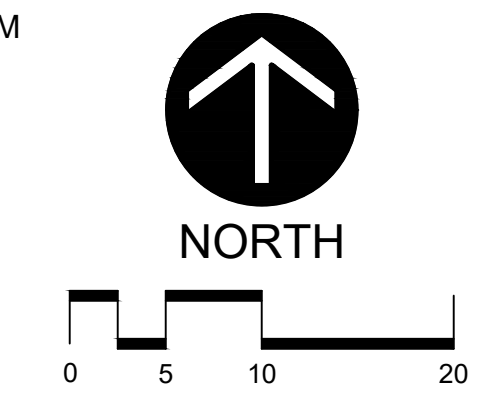
KEY NOTES

- 1 SAWCUT, REMOVE, AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 2 REMOVE AND DISPOSE OF EXISTING FENCE (FABRIC, POSTS, AND ANY RELATED CONCRETE FOOTINGS).
- 3 REMOVE AND DISPOSE OF EXISTING SIGN AND ANY RELATED FOOTING.
- 4 REMOVE AND DISPOSE OF EXISTING STORM SEWER STRUCTURE AND PIPE.
- 5 REMOVE AND DISPOSE OF EXISTING GAS LINE, COORD. WITH SMALL UTILITY COMPANY.
- 6 REMOVE AND DISPOSE OF EXISTING FIBER OPTIC LINE, COORD. WITH SMALL UTILITY COMPANY.
- 7 REMOVE AND DISPOSE OF EXISTING OVERHEAD ELECTRICAL, COORD. WITH POWER COMPANY.
- 8 REMOVE AND DISPOSE OF EXISTING CONCRETE RETAINING WALL.
- 9 REMOVE AND DISPOSE OF EXISTING CONCRETE STAIRS.
- 10 REMOVE AND DISPOSE OF EXISTING BUILDING AND ANY BUILDING RELATED FEATURES.
- 11 REMOVE AND DISPOSE OF EXISTING WATER LINE, REMOVE BACK TO MAIN LINE AND CAP.
- 12 REMOVE AND DISPOSE OF EXISTING SANITARY SEWER PIPE, BULKHEAD EXISTING OPENING IN MANHOLE STRUCTURE.
- 13 PROTECT EXISTING LIGHT POLE DURING DEMOLITION AND CONSTRUCTION.
- 14 PROTECT EXISTING ELECTRICAL MANHOLE DURING DEMOLITION AND CONSTRUCTION.
- 15 PROTECT EXISTING TREE DURING DEMOLITION AND CONSTRUCTION.
- 16 REMOVE AND DISPOSE OF EXISTING TREE, STUMP, AND ROOTS.
- 17 REMOVAL/RELOCATION OF EXISTING OVERHEAD ELECTRICAL, COORD. WITH POWER COMPANY

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demotions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. The Contractor is responsible for damage to the mainline sidewalk, curb, drive access and boulevard landscaping caused during the construction. The Contractor is advised to document the pre-existing condition of the right of way prior to commencement of the construction.

ALL EXISTING SITE DRAINAGE
(BUILDING ROOFS, PARKING LOTS, ETC.)
DRAIN TO THE SOUTHEAST AND INTO THE
CITY ALLEYWAY STORM SEWER SYSTEM



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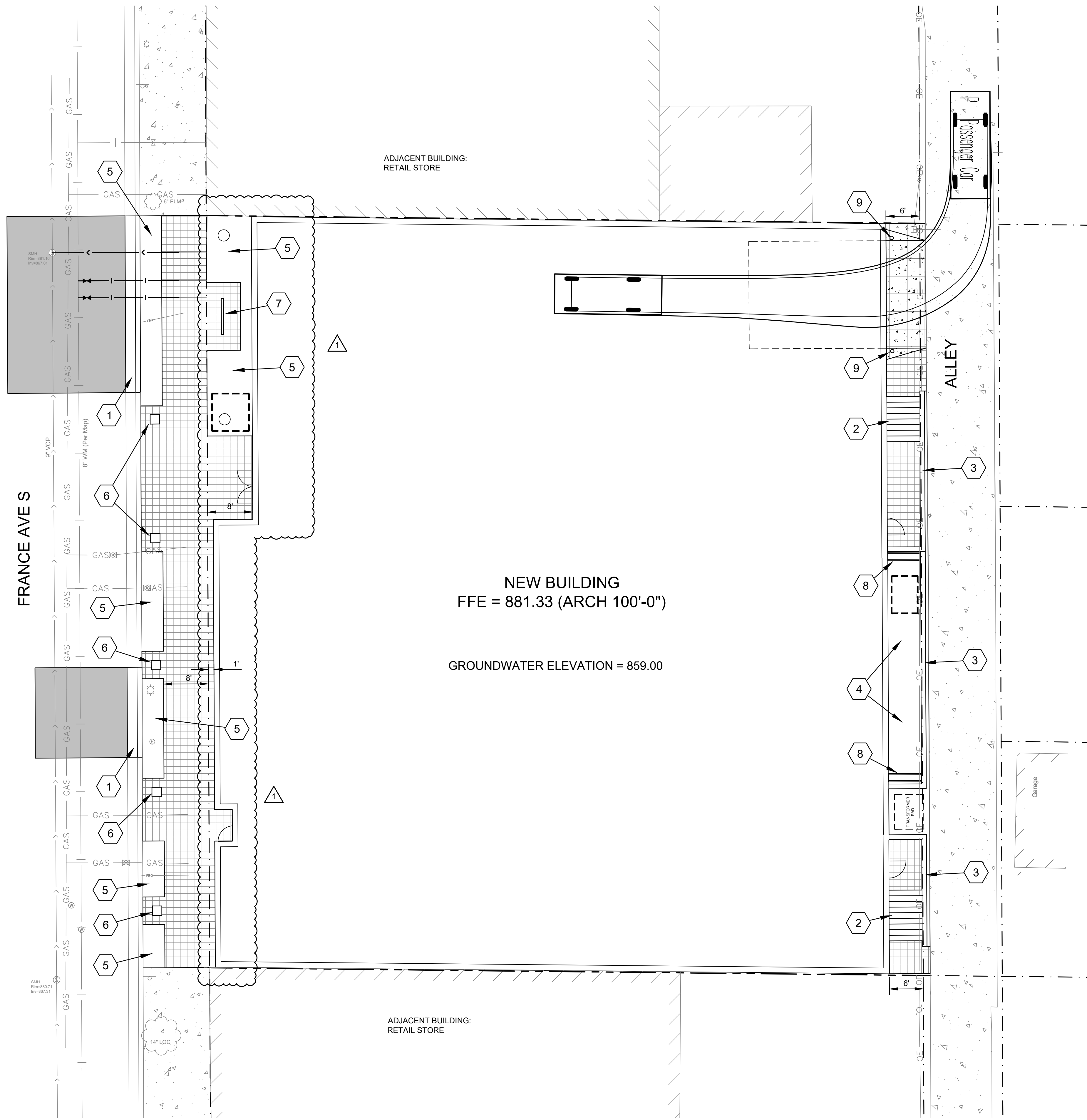
12206160 JAN
Project Number **Drawn By**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the State of Minnesota.

Signature JUSTIN NIELSEN, P.E.
Typed or Printed Name
52687
Registration Number

DEMOLITION PLAN

C1.00



SYMBOL LEGEND

- STREET RESTORATION BITUMINOUS PAVEMENT SEE DETAIL 1/C5.00
- NEW HEAVY-DUTY CONCRETE PAVEMENT SEE DETAIL 2/C5.00
- UNIT PAVERS SEE LANDSCAPE PLAN
- SNOW STORAGE AREA

GENERAL

- PROPERTY LINE
- RIGHT-OF-WAY LINE

TOTAL SITE AREA = 16,855 SF
 TOTAL DISTURBED AREA = 16,855 SF
 EXISTING IMPERVIOUS AREA = 16,855 SF
 EXISTING PERVIOUS AREA = 0 SF
 PROPOSED IMPERVIOUS AREA = 16,226 SF
 PROPOSED PERVIOUS AREA = 635 SF

KEY NOTES

- 1 B624 CONCRETE CURB & GUTTER, SEE DETAIL 3/C5.00
- 2 CONCRETE STAIRS, SEE ARCHITECTURAL/STRUCTURAL PLAN
- 3 CONCRETE RETAINING WALL, SEE ARCHITECTURAL/STRUCTURAL PLAN
- 4 RAISED PLANTER, SEE LANDSCAPE PLAN
- 5 LANDSCAPED AREA, SEE LANDSCAPE PLAN
- 6 TREE GRATE, SEE LANDSCAPE PLAN
- 7 BIKE RACK(S), SEE ARCHITECTURAL PLAN
- 8 SPLASH BLOCK, CENTERED ON ROOF DRAIN
- 9 BOLLARD, SEE DETAIL 6/C5.01

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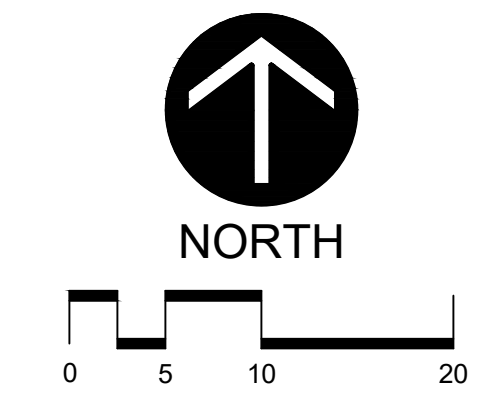
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Signature
 JUSTIN NIELSEN, P.E.
Typed or Printed Name
 52687
Registration Number

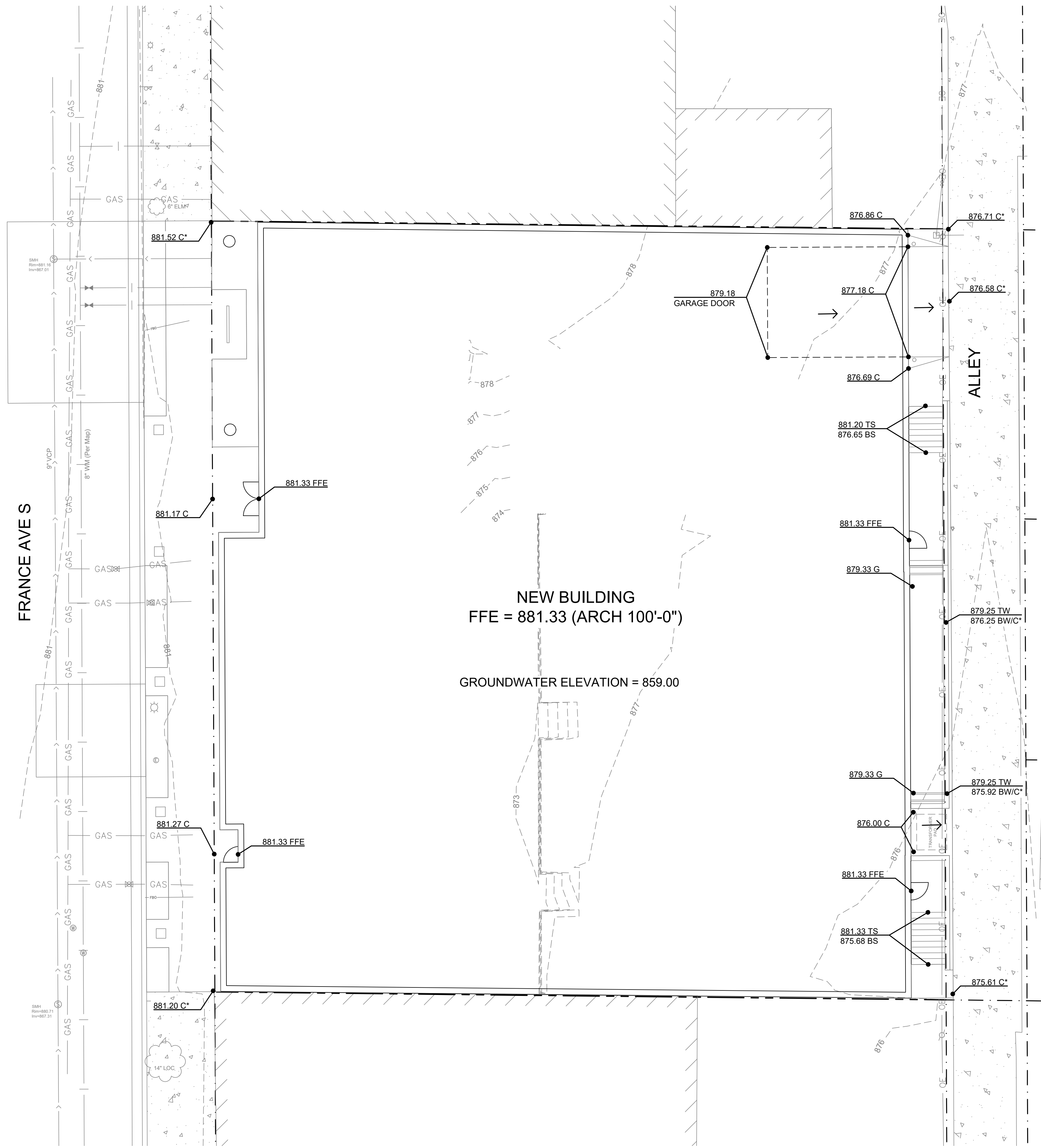
PAVING PLAN

C2.00



5/11/2021 8:26:14 AM

5/11/2021 8:26:14 AM



NEW BUILDING
FFE = 881.33 (ARCH 100'-0")
GROUNDWATER ELEVATION = 859.00

SYMBOL LEGEND

- 950 --- EXISTING CONTOURS
- 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
- 949 --- PROPOSED CONTOURS - MINOR INTERVAL
- - - - - GRADE BREAK LINE
- 2.0% --- GRADE SLOPE
- S--- SILT FENCE
- ROCK CONST. ENTRANCE EXACT LOCATION TO BE DETERMINED
- INLET PROTECTION
- CONCRETE WASHOUT STATION EXACT LOCATION TO BE DETERMINED
- SPOT ABBREVIATIONS:
 TC - TOP OF CURB
 GL - GUTTER LINE
 B - BITUMINOUS
 C - CONCRETE
 EO - EMERGENCY OVERFLOW
 TW - TOP OF WALL
 BW - BOTTOM OF WALL (F/G)
 (*) - EXISTING TO BE VERIFIED

GRADING NOTES

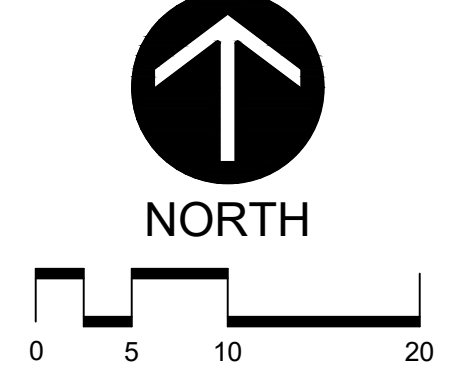
1. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
2. Grades shown in paved areas represent finish elevation.
3. All construction shall be performed in accordance with state and local standard specifications for construction.

EROSION CONTROL NOTES

1. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion.
2. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
3. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
4. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
5. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
6. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
7. No external washing of trucks and other construction vehicles is allowed onsite. No engine degreasing is allowed onsite.
8. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
9. Additional erosion and sediment control notes are shown on Sheet C5.01.

PER CITY OF MINNEAPOLIS ENGINEERING DEPARTMENT:
 LOCAL ALLEYWAY 100-YR FLOOD ELEVATION = 878.00
 MINIMUM REQUIRED LOW BUILDING OPENING = 878.00
 PROPOSED BUILDING LOW BUILDING OPENING = 879.18

ALL PROPOSED SITE DRAINAGE
 DRAINS TO THE SOUTHEAST AND
 INTO THE CITY ALLEYWAY STORM
 SEWER SYSTEM



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**50TH & FRANCE
DEVELOPMENT**

5011-5023 FRANCE AVENUE
 MINNEAPOLIS, MN 55410

CLIENT
 Tertre Rouge LLC / Sotheby's Int. Real Estate
 1000 Twelve Oaks Center Drive Suite 100
 Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
 Larson Engineering Inc.
 3524 Labore Road
 White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
 O2 Design (Oslund and Associates)
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BUILDING ENCLOSURE CONSULTANT : 612.284.7080
 Pie Global
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1 LUA SETBACK REVISION	06.23.2021

12206160 JAN
Project Number **Drawn By**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the State of Minnesota.

Signature
 JUSTIN NIELSEN, P.E.

Typed or Printed Name

52687
Registration Number

**GRADING AND EROSION
CONTROL PLAN**

C3.00



GENERAL LANDSCAPE NOTES:

1. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANTS SCHEDULES AND THE PLAN, THE PLANS SHALL GOVERN.
2. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL STAKE OUT THE LOCATIONS OF ALL PROPOSED TREES AND SHRUBS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL TREES TO BE TAGGED AT PLACE OF GROWTH BY LANDSCAPE ARCHITECT.
5. LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIALS PRIOR TO INSTALLATION.
6. ALL PLANTING BEDS SHALL HAVE HARDWOOD MULCH UNLESS OTHERWISE NOTED.
7. PROVIDE PERMANENT IRRIGATION TO ALL TREES AND PLANT BEDS. THE SYSTEM SHALL BE DESIGNED TO MEET THE WATER EFFICIENCY REQUIREMENTS OUTLINED IN LEED V4.
8. DIMENSIONS PROVIDED ON THESE PLANS ARE SHOWN FOR GENERAL REFERENCE. THE CONTRACTOR WILL UTILIZE A SURVEYOR TO ESTABLISH AND MAINTAIN SITE LAYOUT CONTROL POINTS FOR THE DURATION OF THE PROJECT. ALL PROPOSED LANDSCAPE ELEMENTS (I.E. SURFACING TRANSITIONS, CONCRETE JOINTING, PLANT MATERIALS, SITE FURNISHINGS, AND LIGHTING) SHALL BE LOCATED USING THESE CONTROL POINTS AND ELECTRONIC CAD FILES OF THESE LAYOUT PLANS.
9. ALL CONTROL JOINTS TO BE SAW CUT.
10. SEE CIVIL FOR CONCRETE PAVING SECTIONS AND DETAILS.

SITE AREA SCHEDULE	
Type	Area
LEVEL ONE	
CONCRETE CIVIL SCOPE	499 SF
PLANTING BED - HARDWOOD MULCH	830 SF
UNIT PAVERS TYPE 2 DARK GREY	1420 SF
UNIT PAVERS TYPE 2 LIGHT GREY	411 SF
LEVEL ONE	3160 SF
LEVEL TWO TO SIX	
GREENROOF GROUND COVER	2189 SF
GREENROOF TRAYS TYPE 3	1082 SF
GREENROOF TRAYS TYPE 3 WITH ROCK MULCH TYPE 2	406 SF
PLANTING BED - HARDWOOD MULCH	96 SF
ROCK MULCH TYPE 1	1115 SF
WATER FOUNTAIN	135 SF
WOOD DECKING	6390 SF
LEVEL TWO TO SIX	11412 SF
ROOFTOP	
GREENROOF ARTIFICIAL TURF	243 SF
GREENROOF TRAY TYPE 1	494 SF
GREENROOF TRAY TYPE 2	478 SF
GREENROOF TRAYS TYPE 3	2003 SF
WOOD DECKING	1771 SF
ROOFTOP	4989 SF
TOTAL SITE AREA	19562 SF

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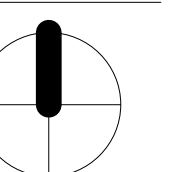
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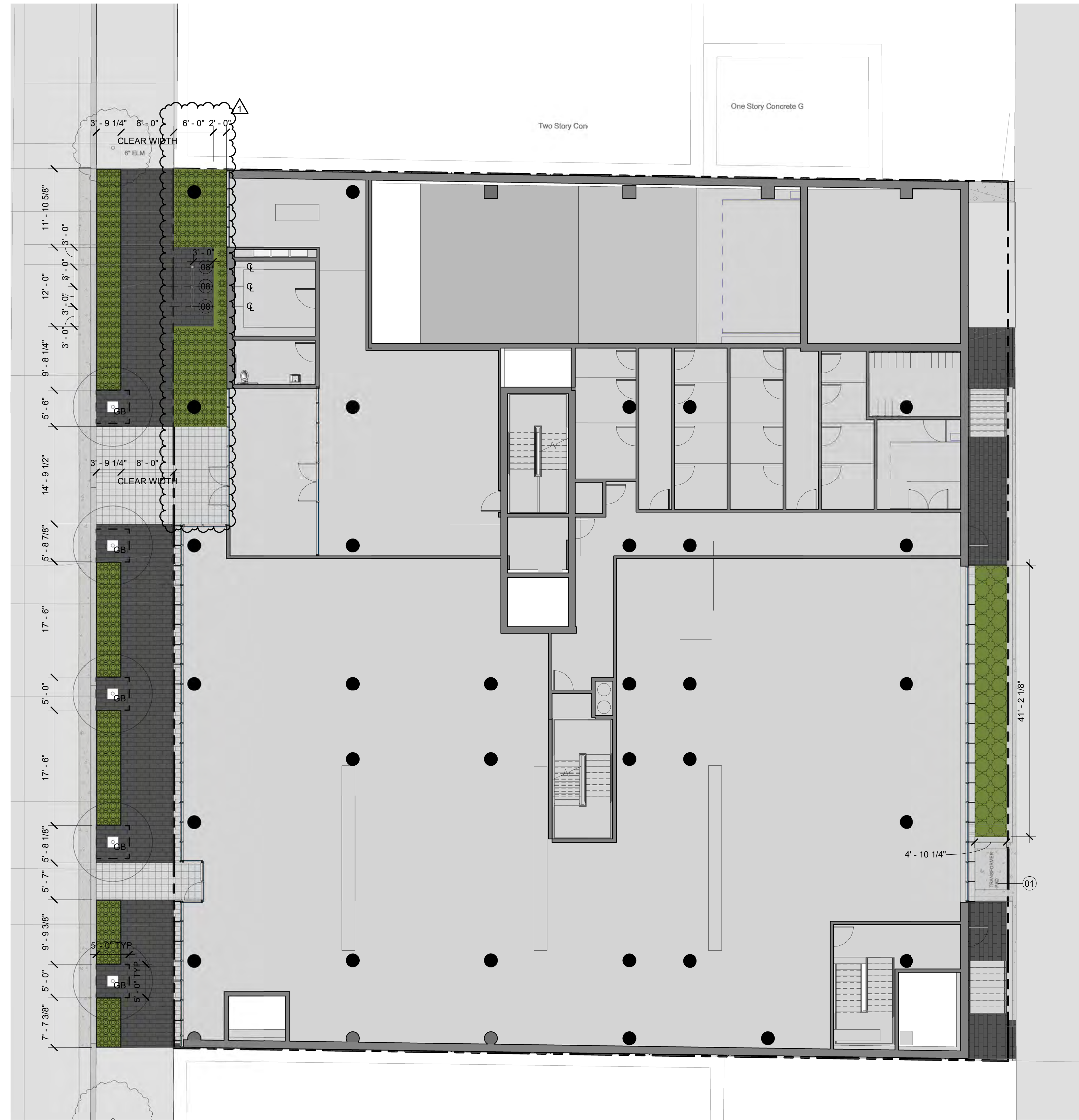
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LANDSCAPE COVER SHEET

L0.51



1 LEVEL 1 LANDSCAPE LAYOUT PLAN
1" = 10'-0"



LINES AND SYMBOLS

- CANOPY ABOVE
- - - EXTENTS OF STRUCTURAL SOIL BELOW
- PROPERTY LINE
- - - EXTENT OF PAVER GRATE BELOW
- - - LANDSCAPE EDGING
- XX PROPOSED TREE WITH SPECIES KEY
- EXISTING TREE TO REMAIN
- PROPOSED SHRUBS AND PERENNIALS (SYMBOL CHANGE BETWEEN ADJACENT PLANTS INDICATES SPECIES VARIATION)
- XX PLANT TAG WITH SPECIES KEY
- # KEYNOTE LABEL - REFER TO KEYNOTE TABLE
- ⊕ SITE LIGHT FIXTURES - SEE ELECTRICAL

SURFACING KEY

- CONCRETE - SEE CIVIL
- UNIT PAVERS - DARK GREY (TYPE 1)
- UNIT PAVERS - LIGHT GREY (TYPE 2)
- WOOD DECK
- ROCK MULCH (TYPE 1)
- ROCK MULCH (TYPE 2)
- GREENROOF TRAYS TYPE 1
8" LIVE ROOF TRAYS WITH SEDUM MIX
- GREENROOF TRAYS TYPE 2
8" LIVE ROOF TRAYS WITH SEDUM MIX AND PLUGS
- GREENROOF TRAYS TYPE 3
8" LIVE ROOF TRAYS WITH GRASS AND PERENNIALS
- PLANTING BED
- GROUND COVER

LAYOUT KEYNOTE LEGEND

Label	Remarks
01	CONCRETE PAD SEE CIVIL
02	TERRACE WATER FOUNTAIN
03	ORNAMENTAL TREE IN 4' PLANTER
04	OUTDOOR KITCHEN
05	AVIVO TABLE AND CHAIRS BY FORMS+SURFACES
06	CUSTOM FIRE PIT ON WALL
07	OUTDOOR SOFA AND CHAIRS BY LOLL
08	CAPITOL BIKE RACK BY FORMS + SURFACES

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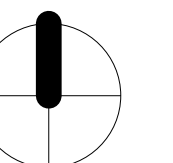
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LEVEL 1 LANDSCAPE LAYOUT PLAN

L2.00

6/22/2021 11:23:04 AM



1 LEVEL 1 LANDSCAPE LAYOUT PLAN
1" = 10'-0"

0' 5' 10' 20'

LINES AND SYMBOLS

- CANOPY ABOVE
- EXTENTS OF STRUCTURAL SOIL BELOW
- PROPERTY LINE
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- LANDSCAPE EDGING
- XX PROPOSED TREE WITH SPECIES KEY
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- WOOD DECK
- ROCK MULCH (TYPE 1)
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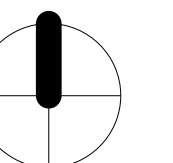
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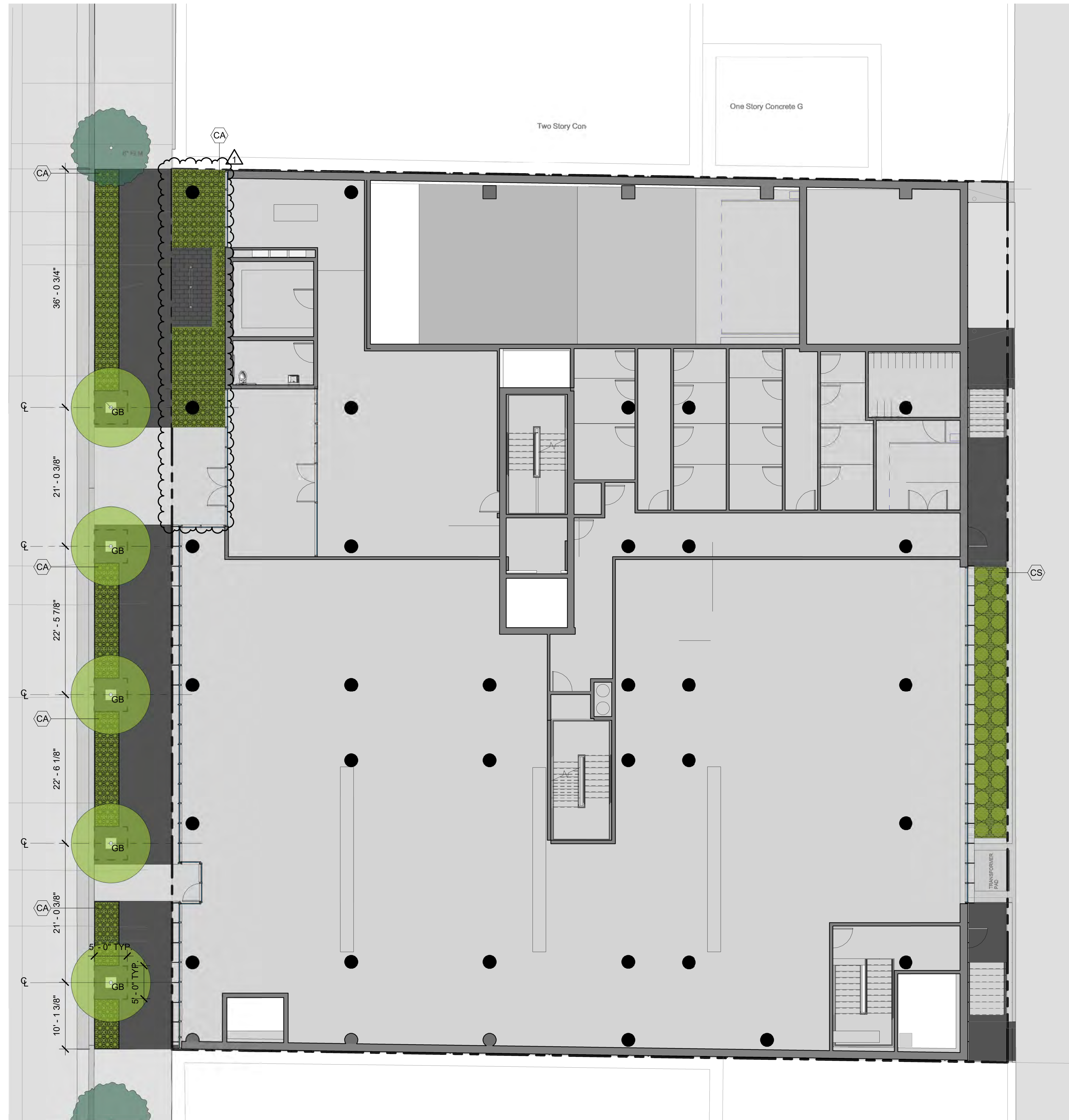
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**LEVEL 1 LANDSCAPE LAYOUT
PLAN**

L2.00



1 LEVEL 1 LANDSCAPE PLANTING PLAN
1" = 10'-0"

LINES AND SYMBOLS

- CANOPY ABOVE
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8" LIVE ROOF TRAYS WITH GRASS AND PERENNIALS
- PLANTING BED
- GROUND COVER

PLANTING SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
TREES IN R.O.W.						
5	GB	Ginkgo biboba 'Magyar'	MAGYAR GINKGO	6"	B&B	STRAIGHT SINGLE LEADER, MATCHED SPECIMEN, MALE CULTIVAR ONLY
5						
TREES						
2	MR	Malus 'Royal Gem'	ROYAL GEM CRABAPPLE	#15	CONT.	CENTERED AT THE PLANTER
2						
SHRUBS						
34	CS	Cornus sericea 'Balladine'	FIREDANCE DOGWOOD	#5	CONT.	SPACE AS SHOWN ON PLANS
34						
PERENNIALS						
312	AT	Asclepias tuberosa	BUTTERFLY FLOWER	#3	CONT.	SPACE AS SHOWN ON PLANS
993	CA	Calamagrostis acutiflora	KARL FORESTER GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
222	GM	Geranium maculatum	WILD GERANIUM	#3	CONT.	SPACE AS SHOWN ON PLANS
152	HM	Hakonechloa macra	JAPANESE FOREST GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
272	LP	Liatris pycnostachya	PRAIRIE BLAZING STAR	#3	CONT.	SPACE AS SHOWN ON PLANS
88	NF	Nepeta x faassenii 'Junior Walker'	NEPETA	#3	CONT.	SPACE AS SHOWN ON PLANS
76	RG	Rudbeckia 'Goldsturm'	GOLDSTURM RUDBECKIA	#3	CONT.	SPACE AS SHOWN ON PLANS
220	SS	Schizachyrium scoparium	LITTLE BLUESTEM	#3	CONT.	SPACE AS SHOWN ON PLANS
2335						
ANNUALS						
90	LE	Lobelia erinus	BLUE LOBELIA	4"	POT	SPACE AS SHOWN ON PLANS
90						

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CIVIL
Tertre Rouge LLC / Sotheby's Int. Real Estate
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Wayzata, MN 55391

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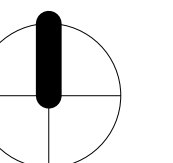
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Signature

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**LEVEL 1 LANDSCAPE PLANTING
PLAN**

L2.01



1 LEVEL 1 LANDSCAPE PLANTING PLAN
1" = 10'-0"

LINES AND SYMBOLS

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272	LP	Liatris pycnostachya	PRAIRIE BLAZING STAR	#3	CONT.	SPACE AS SHOWN ON PLANS
23	MS	Miscanthus sinensis 'Silberfeder'	MISCANTHUS GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
88	NF	Nepeta x faassenii 'Junior Walker'	NEPETA	#3	CONT.	SPACE AS SHOWN ON PLANS
76	RG	Rudbeckia 'Goldsturm'	GOLDSTURM RUDBECKIA	#3	CONT.	SPACE AS SHOWN ON PLANS
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2306						
ANNUALS						
90	LE	Lobelia erinus	BLUE LOBELIA	4"	POT	SPACE AS SHOWN ON PLANS
90						

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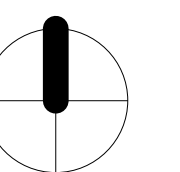
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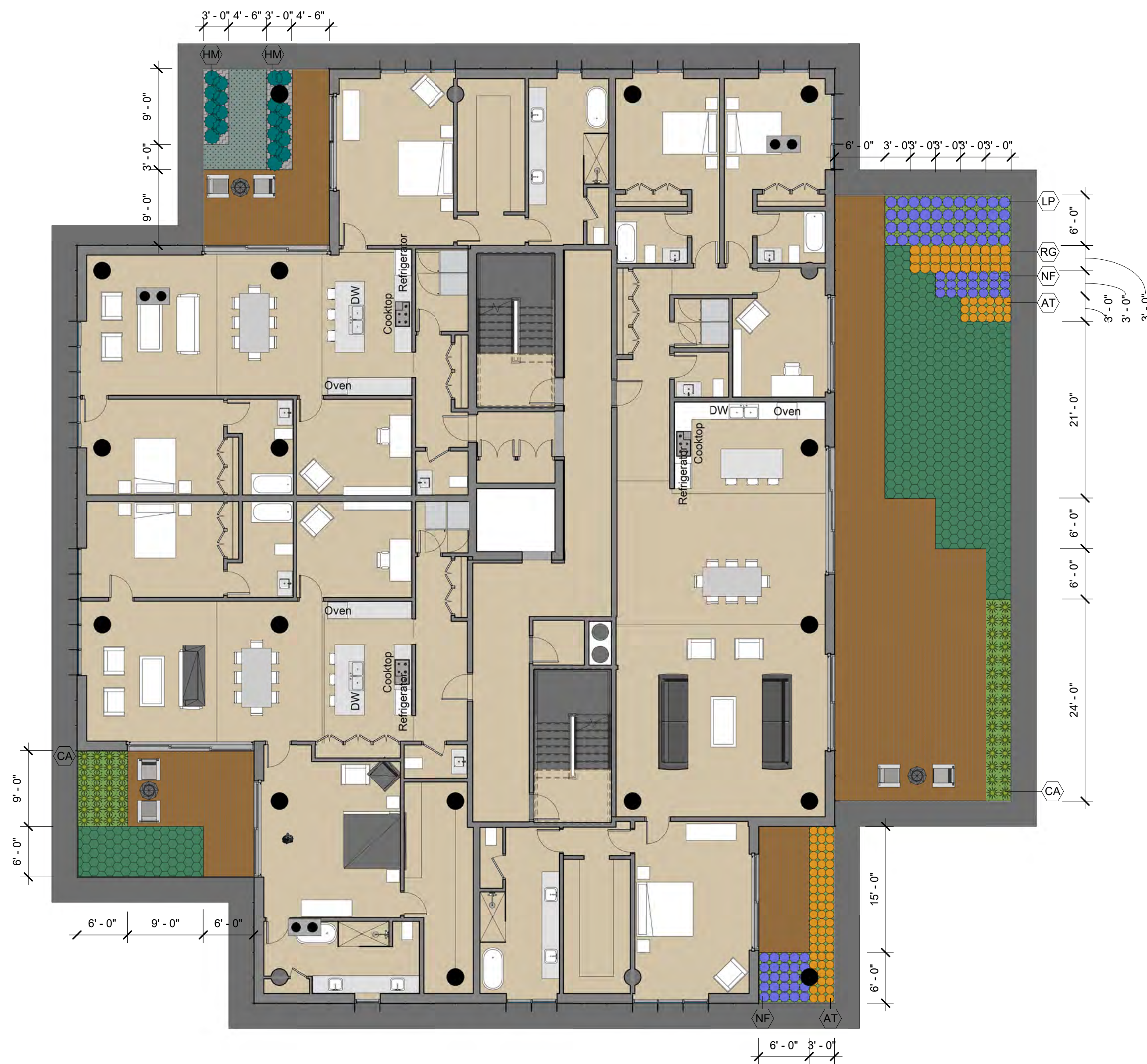
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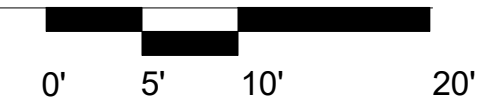


LEVEL 1 LANDSCAPE PLANTING
PLAN

L2.01



① LEVEL 4 LANDSCAPE PLAN
1" = 10'-0"



LINES AND SYMBOLS

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- PROPERTY LINE
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- XX PROPOSED TREE WITH SPECIES KEY
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SURFACING KEY

- CONCRETE - SEE CIVIL
- UNIT PAVERS - DARK GREY (TYPE 1)
- UNIT PAVERS - LIGHT GREY (TYPE 2)
- WOOD DECK
- ROCK MULCH (TYPE 1)
- ROCK MULCH (TYPE 2)
- GREENROOF TRAYS TYPE 1
8" LIVE ROOF TRAYS WITH SEDUM MIX
- GREENROOF TRAYS TYPE 2
8" LIVE ROOF TRAYS WITH SEDUM MIX AND PLUGS
- GREENROOF TRAYS TYPE 3
8" LIVE ROOF TRAYS WITH GRASS AND PERENNIALS
- PLANTING BED
- GROUND COVER

PLANTING SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
TREES IN R.O.W.						
5	GB	Ginkgo biloba 'Magyar'	MAGYAR GINKGO	6"	B&B	STRAIGHT SINGLE LEADER, MATCHED SPECIMEN, MALE CULTIVAR ONLY
5						
TREES						
2	MR	Malus 'Royal Gem'	ROYAL GEM CRABAPPLE	#15	CONT.	CENTERED AT THE PLANTER
2						
SHRUBS						
34	CS	Cornus sericea 'Balladine'	FIRE DANCE DOGWOOD	#5	CONT.	SPACE AS SHOWN ON PLANS
34						
PERENNIALS						
312	AT	Asclepias tuberosa	BUTTERFLY FLOWER	#3	CONT.	SPACE AS SHOWN ON PLANS
941	CA	Calamagrostis acutiflora	KARL FORESTER GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
222	GM	Geranium maculatum	WILD GERANIUM	#3	CONT.	SPACE AS SHOWN ON PLANS
152	HM	Hakonechloa macra	JAPANESE FOREST GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
272	LP	Liatris pycnostachya	PRAIRIE BLAZING STAR	#3	CONT.	SPACE AS SHOWN ON PLANS
23	MS	Miscanthus sinensis 'Silberfeder'	MISCANTHUS GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
88	NF	Nepeta x faassenii 'Junior Walker'	NEPETA	#3	CONT.	SPACE AS SHOWN ON PLANS
76	RG	Rudbeckia 'Goldsturm'	GOLDSTURM RUDBECKIA	#3	CONT.	SPACE AS SHOWN ON PLANS
220	SS	Schizachyrium scoparium	LITTLE BLUESTEM	#3	CONT.	SPACE AS SHOWN ON PLANS
2306						
ANNUALS						
90	LE	Lobelia erinus	BLUE LOBELIA	4"	POT	SPACE AS SHOWN ON PLANS
90						

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612.259.9430
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**50TH & FRANCE
DEVELOPMENT**

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Terre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
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115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

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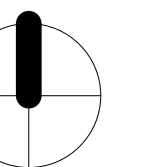
5020.00 Author
Project Number Drawn By

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the State of Minnesota.

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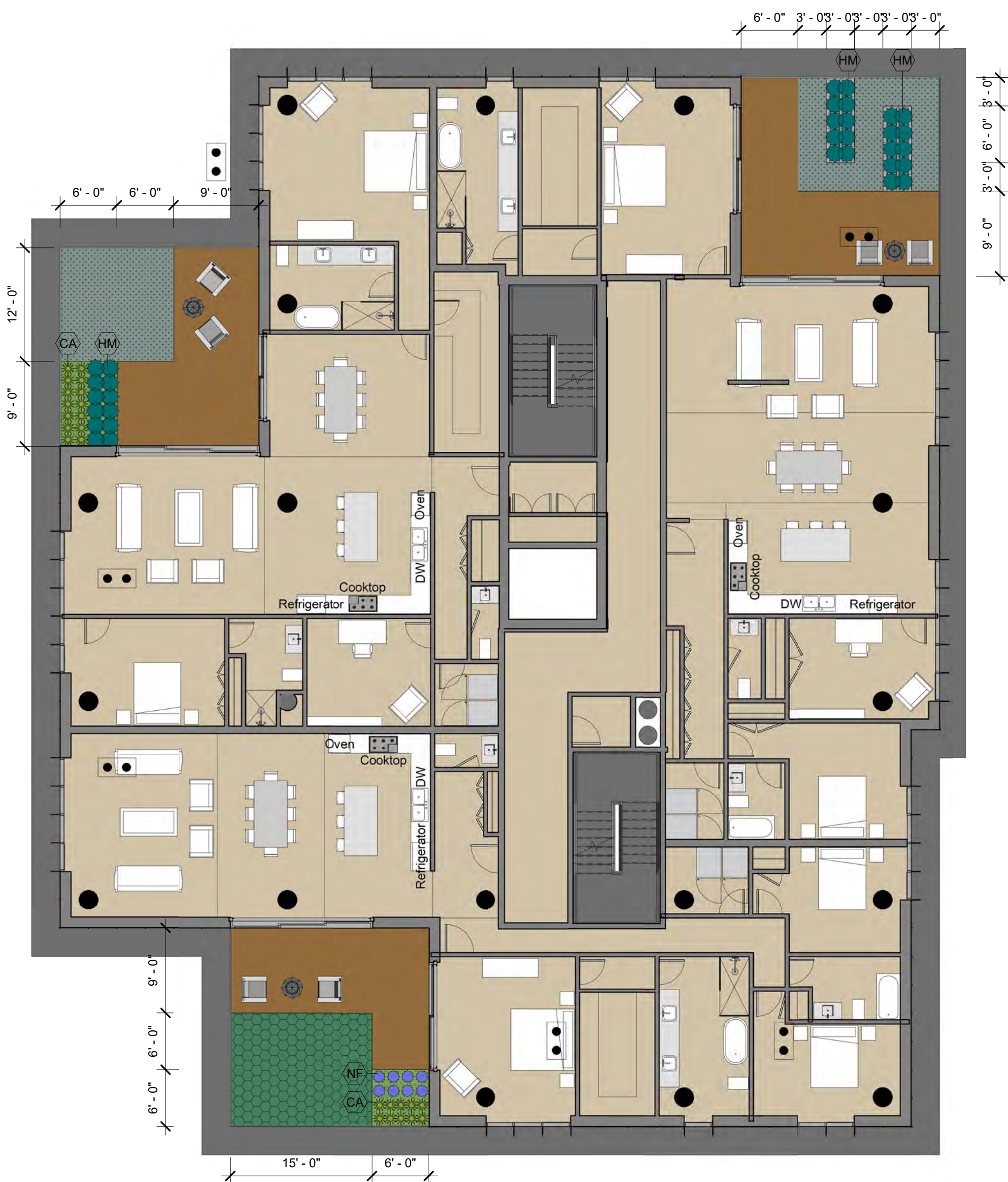
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Registration Number



LEVEL 4 LANDSCAPE PLAN

L2.04



LINES AND SYMBOLS

- CANOPY ABOVE
- EXTENTS OF STRUCTURAL SOIL BELOW
- PROPERTY LINE
- EXTENT OF PAVER GRATE BELOW
- LANDSCAPE EDGING
- XX PROPOSED TREE WITH SPECIES KEY
- EXISTING TREE TO REMAIN
- PROPOSED SHRUBS AND PERENNIALS (SYMBOL CHANGE BETWEEN ADJACENT PLANTS INDICATES SPECIES VARIATION)
- XX PLANT TAG WITH SPECIES KEY
- # KEYNOTE LABEL - REFER TO KEYNOTE TABLE
- Site Light Fixtures - SEE ELECTRICAL

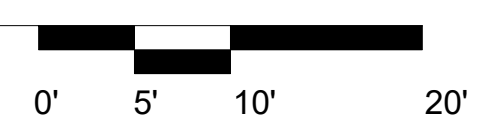
SURFACING KEY

- CONCRETE - SEE CIVIL
- UNIT PAVERS - DARK GREY (TYPE 1)
- UNIT PAVERS - LIGHT GREY (TYPE 2)
- WOOD DECK
- ROCK MULCH (TYPE 1)
- ROCK MULCH (TYPE 2)
- GREENROOF TRAYS TYPE 1
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- GREENROOF TRAYS TYPE 2
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8" LIVE ROOF TRAYS WITH GRASS AND PERENNIALS
- PLANTING BED
- GROUND COVER

PLANTING SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
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5						
TREES						
2	MR	Malus 'Royal Gem'	ROYAL GEM CRABAPPLE	#15	CONT.	CENTERED AT THE PLANTER
2						
SHRUBS						
34	CS	Cornus sericea 'Balladine'	FIREDANCE DOGWOOD	#5	CONT.	SPACE AS SHOWN ON PLANS
34						
PERENNIALS						
312	AT	Asclepias tuberosa	BUTTERFLY FLOWER	#3	CONT.	SPACE AS SHOWN ON PLANS
941	CA	Calamagrostis acutiflora	KARL FORESTER GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
222	GM	Geranium maculatum	WILD GERANIUM	#3	CONT.	SPACE AS SHOWN ON PLANS
152	HM	Hakonechloa macra	JAPANESE FOREST GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
272	LP	Liatris pycnostachya	PRAIRIE BLAZING STAR	#3	CONT.	SPACE AS SHOWN ON PLANS
23	MS	Miscanthus sinensis 'Silberfeder'	MISCANTHUS GRASS	#3	CONT.	SPACE AS SHOWN ON PLANS
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76	RG	Rudbeckia 'Goldsturm'	GOLDSTURM RUDBECKIA	#3	CONT.	SPACE AS SHOWN ON PLANS
220	SS	Schizachyrium scoparium	LITTLE BLUESTEM	#3	CONT.	SPACE AS SHOWN ON PLANS
2306						
ANNUALS						
90	LE	Lobelia erinus	BLUE LOBELIA	4"	POT	SPACE AS SHOWN ON PLANS
90						

1 LEVEL 5 LANDSCAPE PLAN
1" = 10'-0"



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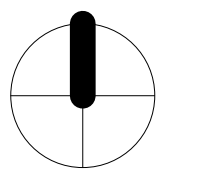
5020.00 Author
Project Number Drawn By

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Registration Number



LEVEL 5 LANDSCAPE PLAN

L2.05

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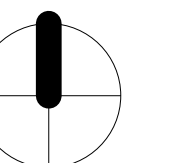
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LEVEL 6 LANDSCAPE PLAN

L2.06

LINES AND SYMBOLS

- CANOPY ABOVE
- EXTENTS OF STRUCTURAL SOIL BELOW
- PROPERTY LINE
- EXTENT OF PAVER GRATE BELOW
- LANDSCAPE EDGING
- XX PROPOSED TREE WITH SPECIES KEY
- EXISTING TREE TO REMAIN
- PROPOSED SHRUBS AND PERENNIALS (SYMBOL CHANGE BETWEEN ADJACENT PLANTS INDICATES SPECIES VARIATION)
- XX PLANT TAG WITH SPECIES KEY
- # KEYNOTE LABEL - REFER TO KEYNOTE TABLE
- SITE LIGHT FIXTURES - SEE ELECTRICAL

SURFACING KEY

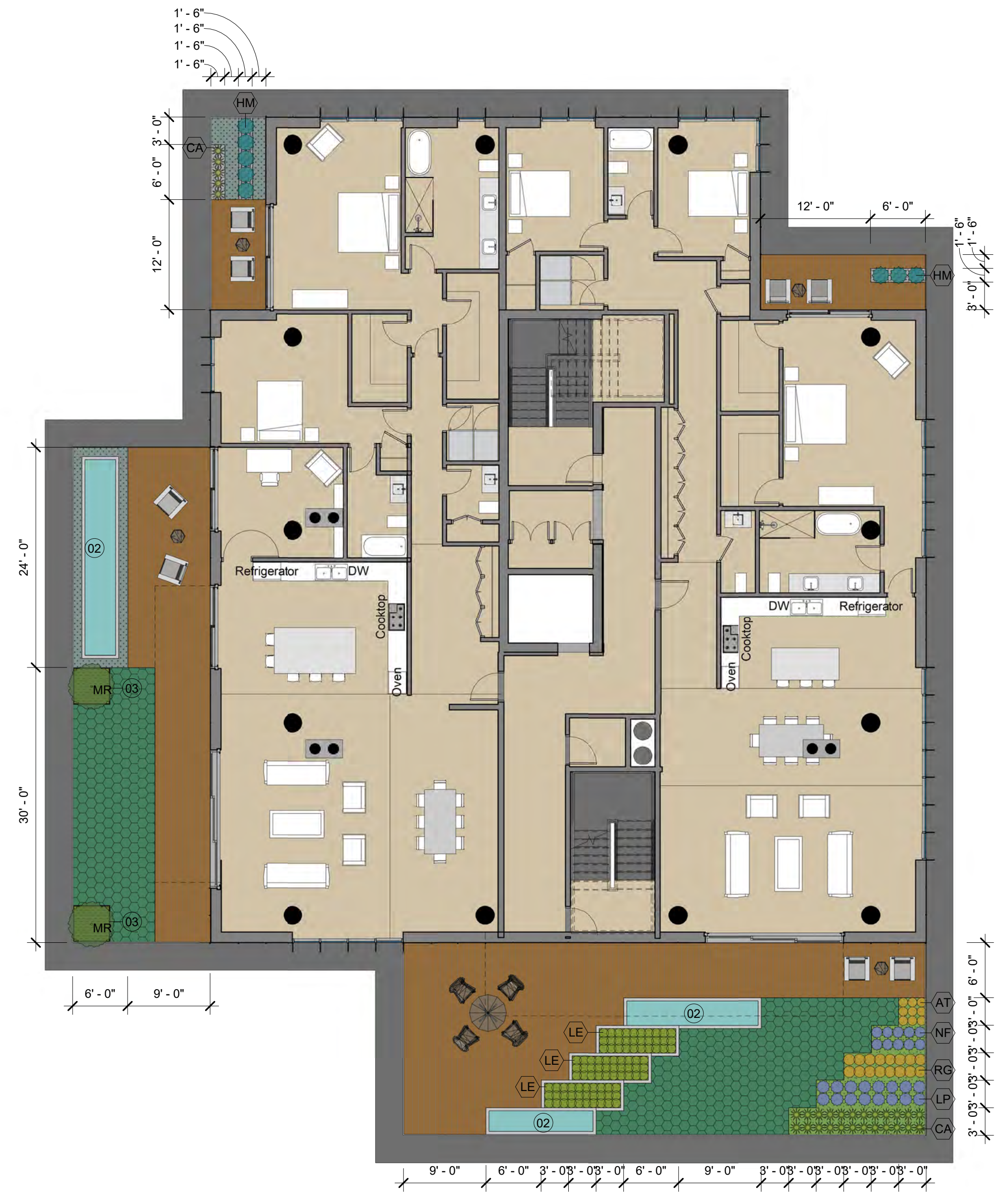
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- UNIT PAVERS - DARK GREY (TYPE 1)
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- GREENROOF TRAYS TYPE 3
8" LIVE ROOF TRAYS WITH GRASS AND PERENNIALS
- PLANTING BED
- GROUND COVER

PLANTING SCHEDULE

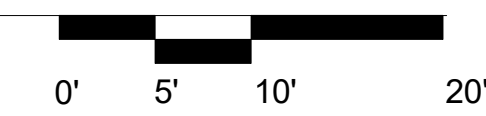
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SHRUBS						
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PERENNIALS						
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2306						
ANNUALS						
90	LE	Lobelia erinus	BLUE LOBELIA	4"	POT	SPACE AS SHOWN ON PLANS
90						

LAYOUT KEYNOTE LEGEND

Label	Remarks
01	CONCRETE PAD SEE CIVIL
02	TERRACE WATER FOUNTAIN
03	ORNAMENTAL TREE IN 4' PLANTER
04	OUTDOOR KITCHEN
05	AVIVO TABLE AND CHAIRS BY FORMS+SURFACES
06	CUSTOM FIRE PIT ON WALL
07	OUTDOOR SOFA AND CHAIRS BY LOLL
08	CAPITOL BIKE RACK BY FORMS + SURFACES



1 LEVEL 6 LANDSCAPE PLAN
1" = 10'-0"



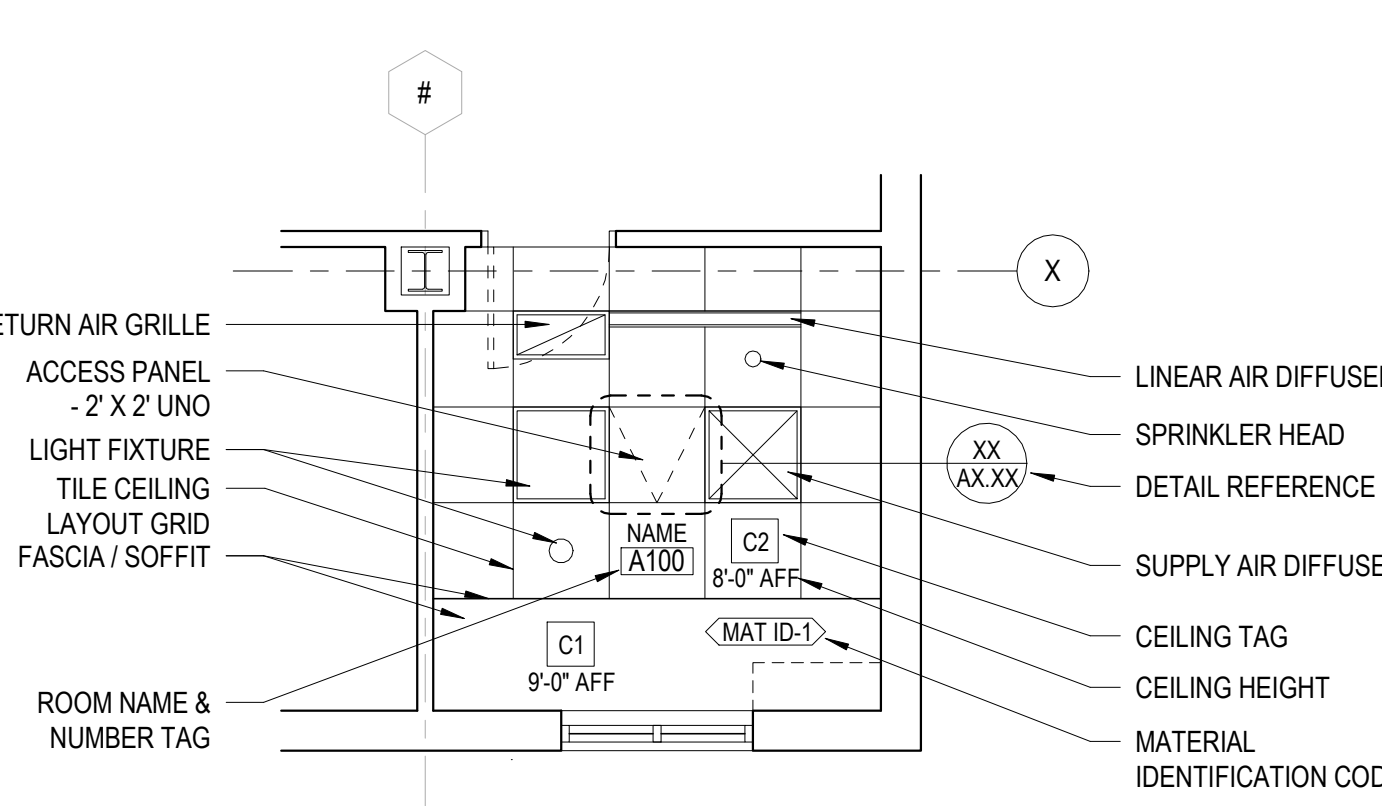
A/C	AIR CONDITIONING	GA	GAUGE	QTY	QUANTITY
A/E	ARCHITECT/ENGINEER	GAL	GALLON	R	RADIUS, RISER
AB	ANCHOR BOLT, AIR BARRIER	GALV	GALVANIZED	RA	RETURN AIR
ABV	ABOVE	GC	GENERAL CONTRACTOR	RC	REFLECTED CEILING PLAN
ACC	ACCESSIBLE (ORIES)	GEN	GENERAL	RD	ROOF DRAIN
ADD	ADDENDUM	GFI	GROUND FAULT CIRCUIT INTERRUPTER	REF	REFERENCE, REFRIGERATOR (OR) (ED)
ADDL	ADDITIONAL	GL	GLASS	REG	REGISTER
ADJ	ADJUSTABLE	GLB	GLUE LAMINATED BEAM	REINF	REINFORC(E) (ED) (ING) (EMENT)
AFF	ABOVE FINISH FLOOR	GR	GROUND	REIN	REINFORC(E) (ED) (ABLE)
ALT	ALTERNATE	GRL	GRILLE	REQD	REQUIRED
ANC	ANCHORAGE	GRV	GRAVITY ROOF VENTILATOR	REQM	REQUIREMENT(S)
ANOD	ANODIZED	GSKT	GASKET	RET	RETURNED
AP	ACCESS PANEL	GYP	GYPSPUM (BOARD)	REV	REVIS(E) (ED) (ION)
APPROX	APPROXIMATE(LY)	HT	HIGH HEIGHT	RM	ROOM
ARCH	ARCHITECT(URAL)	HB	HOSE BIB	RO	ROUGH OPENING
AUTO	AUTOMATIC	HCP	HANDICAP	RVS	REVERSED
AV, AVV	AUDIO VISUAL	HD	HEAVY DUTY	RWL	RAIN WATER LEADER
AVG	AVERAGE	HDR	HEADER	S	SOUTH, SOUTHING
BFE	BOTTOM OF FOOTING ELEVATION	HDR	HARDWOOD	SA	SUPPLY AIR
BLDG	BUILDING	HDWD	HARDWARE	SBLK	SPLASH BLOCK
BLE	BRICK LEDGE ELEVATION	HDWE	HARDWARE	SCHED	SCHEDULE
BLKG	BLOCKING	HM	HOLLOW METAL	SDG	SIDING
BOL	BOLLARD	HOR	HORIZONTAL	SECT	SECTION
BOT	BOTTOM	HPC	HIGH PERFORMANCE COATING	SF	SQUARE FOOT/FEET
BRDG	BRIDGING	HR	HANDRAIL(S)	SF	SHOWER
BRG	BEARING	HUR	HOUR	SHT	SHEET(ING)
BRKT	BRACKET	HSS	HOLLOW STEEL SHAPE	SHTG	SHEATHING
BRM	BROOM	HTG	HEATING	SIM	SIMILAR
BTW	BETWEEN	HTR	HEATER	SKY	SKYLIGHT(S)
BW	BOTH WAYS	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	SLR	SLAB ON GRADE
C	CHANNEL	ID	INSIDE DIAMETER/DIMENSION/ IDENTIFICATION	SP(S)	SPACE(S)
CAB	CABINET	IN	INCH(ES)	SPEC(S)	SPECIFICATION(S)
CB	COVER BOARD	INCL	INCL(UD)E(D) (DING) (SIVE)	SPKR	SPEAKER
CCTV	CLOSED CIRCUIT TELEVISION	INFO	INFORMATION	SQ	SQUARE
CEN	CENTER (TRAL)	INS	INSULATION	SQSF	SQ. SURFACE
CIP	CAST IN PLACE CONCRETE	INTS	INSULAT(E) (ED)	SST	STAINLESS STEEL
CIR	CIRCLE	INTL	INTERIOR	STC	SOUND TRANSMISSION CLASS
CJ	CONTROL/CONSTRUCTION JOINT	JBE	JOIST BEARING ELEVATION	STD	STANDARD
CL	CENTER LINE	JC	JANITOR CLOSET	STIF	STIFFENER
CLG	CEILING	JL	JOIST	STL	STEEL
CLR	CLEAR(ANCE)	JST	JOIST	STR	STRUCTURE (AL)
CMU	CONCRETE MASONRY UNIT	JT	JOINT	SUSP	SUSPEND (DED) (SION)
COL	COLUMN	L	ANGLE	SYM	SYMMETRY (ICAL)
CMP	COMPOSITE	LAM	LAMINAT(E) (ED) (ION)	SYS	SYSTEM(S)
COMP	COMPARTMENT	LAV	LAVATORY	T	THERMOSTAT, TOILET, TREAD
CONC	CONCRETE	LB	POUND	T AND B	TOP AND BOTTOM
COND	CONDITION	LF	LINEAL FOOT, FEET	T AND G	TONGUE AND GROOVE
CONN	CONNECTION	LK	LOCKER	TD	TELEPHONE DATA OUTLET
CONST	CONSTRUCTION	LKR	LOCKER	TBE	TOP OF BEAM ELEVATION
CONT	CONTINUE (E) (OUS) (ATION)	LL	LIVE LOAD	TCE	TOP OF TILE CAP (CAISSON)
CONTR	CONTRACT (OR)	LOC	LOCAT(E) (ION)	TE	ELEVATION
CORR	CORRIDOR	LONG	LONGITUDINAL (LY)	TD	TRENCH DRAIN
CPT	CARPET	LOUV	LOUVER	TOE	TOP OF DECK ELEVATION
CSK	COUNTER (SINK) (SUNK)	LVL	LEVEL, LAMINATED VENEER LUMBER	TEL	TELEPHONE
CT	CURTAIN	MAS	MASONRY	TEMP	TEMPERATURE
CTOP	COUNTERTOP	MATL	MATERIAL	TEMP	TEMPERATURE
CUH	CABINET UNIT HEATER	MAX	MAXIMUM	TER	TERRAZZO
DBE	DECK BEARING ELEVATION	MBR	MEMBER	TERM	TERMINAL (TE) (TION)
DBL	DOUBLE	MECH	MECHANICAL (LY)	TFE	TOP OF FOOTING ELEVATION
DEG	DEGREE(S)	MED	MEDIUM	THK	THICKNESS
DEMO	DEMOLISH (LITION)	MEMB	MEMBRANE	THR	THRESHOLD
DEPT	DEPARTMENT	MET	METAL	TJE	TOP OF JOIST ELEVATION
DET	DETAIL	MEZZ	MEZZANINE	TKBD	TACKBOARD
DF	DRINKING FOUNTAIN	MFD	MANUFACTURED	TLE	TOP OF LEDGE ELEVATION
DIA	DIAMETER	MFR	MANUFACTURER	TME	TOP OF MASONRY ELEVATION
DIAG	DIAGONAL	MGR	MANAGER	TMFD	TEMPERED
DIFF	DIFFUSER	MIN	MINIMUM	TPE	TOP OF PIER ELEVATION
DIM	DIMENSION	MISC	MISCELLANEOUS	TR	TRANSOM
DIST	DISTRIBUTION (ION)	MKB	MARKER BOARD	TRANS	TRANSITION
DIV	DIVIDE (DED) (DER) (SION)	MO	MARKER BOARD	TRANSL	TRANSLUCENT
DJ	DEFLECTION JOINT	MS	MASONRY OPENING	TRANSP	TRANSPARENT
DL	DEAD LOAD	MTD	MOUNT (ED)	TRANSV	TRANSVERSE
DN	DOWN	MUL	MULLION	TSE	TOP OF SLAB ELEVATION
DOC	DOCUMENT(S)	N	NORTH, NORTHING	TV	TELEVISION
DR	DOOR	N/A	NOT APPLICABLE	TWE	TOP OF WALL ELEVATION
DS	DOWNSPOUT	NIC	NOT IN CONTRACT	TYP	TYPICAL
DWG(S)	DRAWING(S)	NO	NUMBER	UC	UNDER CABINET
DWL	DOWEL (REBAR)	NOM	NOMINAL	UG	UNDERGROUND
E	EAST, EASTING	NRC	NOISE REDUCTION COEFFICIENT	UNFIN	UNFINISH(ED)
EA	EACH	NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
EHD	ELECTRIC HAND DRYER	OC	ON CENTER	UR	URINAL
EJ	EXPANSION JOINT	OD	OUTSIDE DIAMETER/DIMENSION	UTIL	UTILITY
ELEV	ELEVATION	OH	OVERHEAD	UV	ULTRAVIOLET
ELEC	ELECTRICAL	OPNG	OPENING	V	VALVE, VENT
ENCL	ENCLOSURE (URE)	OPP	OPPOSITE	VAC	VACUUM
ENGR	ENGINEER(S)	OPT	OPTIONAL	VAR	VARY (IES) (IATION)
ENTR	ENTRANCE	ORD	OVERFLOW ROOF DRAIN	VB	VAPOR BARRIER
EQ	EQUAL	OS	OVERFLOW SCUPPER	VEN	VENEER
EQUIP	EQUIPMENT	PA	PUBLIC ADDRESS	VENT	VENTILAT(ION) (OR)
ES	EACH SIDE	PAR	PARALLEL	VERT	VERTICAL
EW	EACH WAY	PB	PANIC BAR	VEST	VESTIBULE
EWC	ELECTRIC WATER COOLER	PC(S)	PUSH BUTTON	VIF	VERIFY IN FIELD
EX	EXAMPLE	PC(S)	PIECE(S)	VOL	VOLUME
EXC	EXCAVAT(E) (ED) (ION)	PCF	POUNDS PER CUBIC FOOT	VP	VENEER PLASTER
EXCL	EXCLUDE (ED) (ING)	PERF	PERFORATE (D)	VR	VAPOR RETARDER
EXST	EXISTING	PERM	PERIMETER	W	WIDE, WIDTH, WEST, WESTING
EXH	EXHAUST	PERM	PERMANENT (LY)	W/O	WITHOUT
EXP	EXPAND (D) (SION)	PFB	PREFABRICATE (D)	WB	WEATHER BARRIER
EXT	EXTERIOR	PFN	PREFINISH (ED)	WC	WATER CLOSET
F	FAHRENHEIT	PL	PLATE	WD	WOOD
FAB	FABRICAT(E) (ED) (OR)	PLEXI	PLEXIGLASS	WH	WALL HYDRANT, WATER HEATER
FAS	FASTENED (ER)	PLF	PROPERTY LINE, POUNDS PER LINEAL FOOT	WL	WIND LOAD
FC(S)	FACE(S)	PNL	PANEL	WP	WATERPROOF
FD	FLOOR DRAIN	POL	POLISH (ED)	WPT	WORK (ING) POINT
FDN	FOUNDATION	PR	PAIR	WSCOT	WAINSCOT
FDV	FIRE DEPARTMENT VALVE	PROJ	PROJECT (ION) (OR)	WSG	WEATHERSTRIPPING
FE(C)	FIRE EXTINGUISHER (CABINET)	PROP	PROPERTY	WT	WEIGHT
FF	FINISH FLOOR	PSF	POUNDS PER SQUARE FOOT	WVF	WELED WIRE FABRIC
FFE	FINISH FLOOR ELEVATION	PSI	POUNDS PER SQUARE INCH	XP(D)	EXPOSE (D)
FGL	FIBERGLASS	PT	POST TENSION (ED) (ING)		
FLASH	FLASHING	PT	POINT		
FLEX	FLEXIBLE	PTD	PAINTED		
FLG	FLANGE	PTN	PARTITION		
FLR	FLOOR (ING)				
FLOAT	FLOAT				
FS	FOOTING STEP				
FTG	FOOTING				
FTR	FINNED TUBE RADIATION				
FUR	FURRING				

ARCHITECTURAL ABBREVIATIONS 3
NTS A0.01

ACQUSTIC TILE	GASKET (LARGE SCALE)
ASPHALT CONCRETE	METAL (ALUMINUM)
BATT INSULATION	METAL (STEEL)
CARPET (LARGE SCALE)	PLASTER OR GYPSUM BOARD
CERAMIC TILE	RIGID INSULATION
CONCRETE	SAND FILL
CONCRETE MASONRY UNIT	STONE - EXTERIOR
EARTH	SOLID WOOD - FINISHED
EXISTING CONSTRUCTION	WOOD BLOCKING - CONTINUOUS
FACEBRICK	WOOD BLOCKING - INTERRUPTED
GRANULAR MATERIAL (GRAVEL)	WOOD SHEATHING

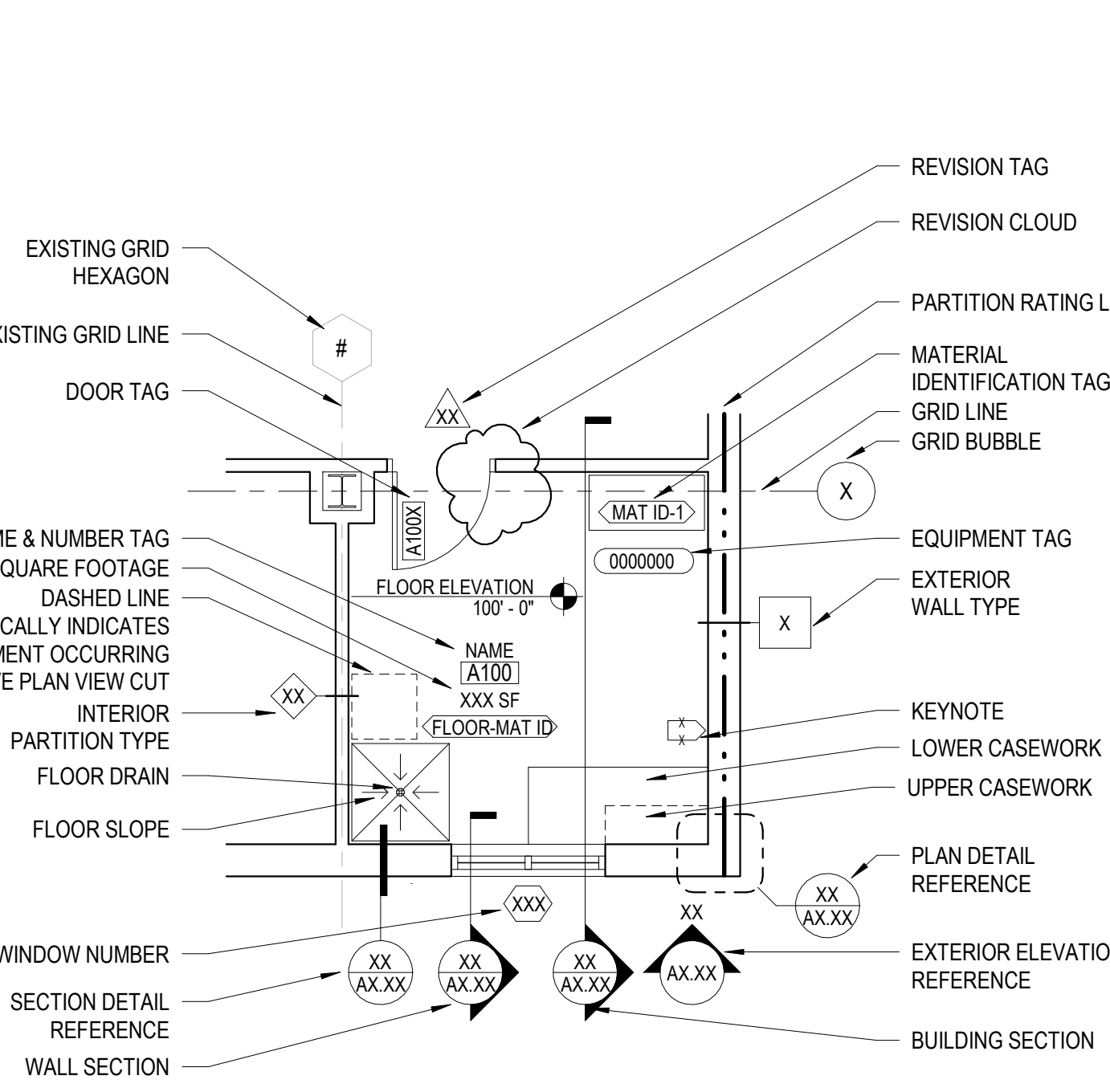
NOTE:
TEXT NOTES TAKE PRIORITY OVER GRAPHICAL MATERIAL NOTES.
NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCLEAR GRAPHICS WITHIN CONTRACT DOCUMENTS.

ARCHITECTURAL MATERIAL DESIGNATIONS 7
NTS A0.01



GENERAL NOTE:
SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL CEILING SYMBOLS

CEILING PLAN SYMBOL DESIGNATIONS 5
1/4" = 1'-0" A0.01



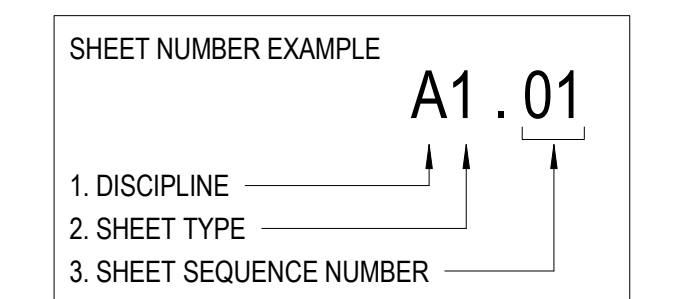
FLOOR PLAN SYMBOL DESIGNATIONS 2
1/4" = 1'-0" A0.01

SPECIAL SYMBOLS	
&	AND
@	AT
X	BY
CL	CENTERLINE
°	DEGREE(S)
Ø	DIAMETER
'	FEET
"	INCHES
#	NUMBER/POUNDS
D	PENNY (NAIL)
%	PERCENT
±	PLUS OR MINUS

SPECIAL SYMBOLS 8
NTS A0.01

CONTACT INFORMATION
ARCHITECT OF RECORD: Julie V. Snow
Snow Kreilich Architects
PROJECT CONTACT: James Howarth
Snow Kreilich Architects
Direct Phone: 612.752.0278
Email: James@snokreilich.com

PROJECT CONTACT INFORMATION 6
NTS A0.01

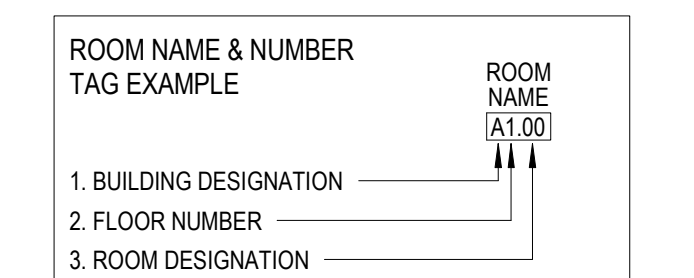


SHEET NUMBER EXPLANATION
1. DISCIPLINE
2. SHEET TYPE
3. SHEET SEQUENCE NUMBER

SHEET TYPE DESIGNATOR - SIGNIFIES THE TYPE OF INFORMATION ON THE SHEET.
0. GENERAL (SYMBOLS, LEGENDS, NOTES, ETC)
1. DEMOLITION DRAWINGS
2. FLOOR PLANS
3. REFLECTED CEILING PLANS
4. EXTERIOR ELEVATIONS AND SECTIONS
5. LARGE SCALE VIEWS AND EXTERIOR DETAILS
6. SCHEDULES AND FRAME ELEVATIONS
7. INTERIOR ELEVATIONS AND DETAILS
8. FURNITURE / FINISH / EQUIPMENT PLANS

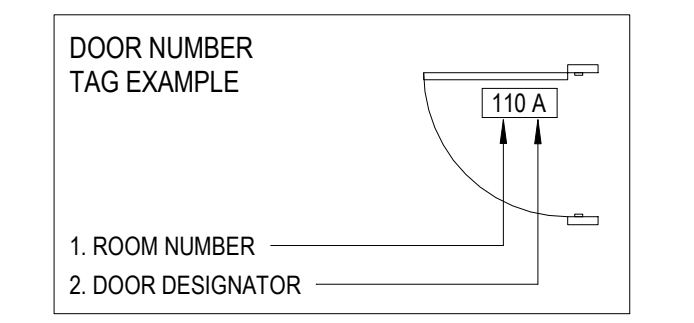
3. SHEET SEQUENCE NUMBER - INDICATES EITHER THE NUMBER OF THE FLOOR SHOWN ON THE SHEET OR THE NEXT SEQUENTIAL NUMBER OF THAT SERIES OF SHEETS.

SHEET NUMBER DESIGNATIONS 4
NTS A0.01



ROOM NAME & NUMBER TAG EXAMPLE
1. BUILDING DESIGNATION
2. FLOOR NUMBER
3. ROOM DESIGNATION

ROOM NUMBER TAGS
1. BUILDING DESIGNATION - INDICATES THE BUILDING IN WHICH THE ROOM IS LOCATED (ONLY USED ON PROJECTS WITH MULTIPLE STRUCTURES)
2. FLOOR NUMBER OR MODIFIER - INDICATES THE FLOOR ON WHICH THE ROOM IS LOCATED
3. ROOM DESIGNATION - SIGNIFIES THE SEQUENTIAL ROOM NUMBER FOR A PARTICULAR AREA



DOOR NUMBER TAG EXAMPLE
1. ROOM NUMBER
2. DOOR DESIGNATOR

DOOR NUMBER TAGS
1. ROOM NUMBER - SIGNIFIES THE DOOR'S ROOM NUMBER. SEE ABOVE FOR ROOM NUMBER EXAMPLE.
2. DOOR DESIGNATOR - ALPHANUMERIC SUFFIX TO DIFFERENTIATE BETWEEN MULTIPLE DOORS ASSOCIATED WITH A PARTICULAR ROOM. WHEN A ROOM ONLY HAS ONE DOOR, THE DOOR DESIGNATOR MAY BE OMITTED.

ROOM & DOOR DESIGNATIONS 1
NTS A0.01

GENERAL NOTES

- THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY SHEET NOTES OR KEYNOTES ON SPECIFIC SHEETS.
- COORDINATE ALL PROJECT PHASING WITH OWNER OR AS SPECIFIED AND/OR SHOWN ON THE DOCUMENTS.
- CAREFULLY REVIEW ALL CONSTRUCTION DOCUMENTS PRIOR TO BID AND BEFORE THE START OF CONSTRUCTION. CONFIRM THAT WORK INDICATED IN THE CONSTRUCTION DOCUMENTS IS BUILDABLE AS SHOWN. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS, DISCREPANCIES, OR OMISSIONS IN THE WORK SHOWN.
- CAREFULLY COMPARE ALL CONSTRUCTION DOCUMENTS WITH EXISTING CONDITIONS PRIOR TO BID AND START OF CONSTRUCTION. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICTS.
- DO NOT SCALE PRINTED DRAWINGS. REVIEW ALL DIMENSIONS SHOWN IN CONSTRUCTION DOCUMENTS PRIOR TO BID AND BEFORE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICT.
- NOTIFY THE ARCHITECT PROMPTLY IF INFORMATION IN ONE CONSTRUCTION DOCUMENT CONFLICTS WITH INFORMATION SHOWN ON ANOTHER.
- PROVIDE A SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND SITE PER APPLICABLE CODES AT THE TIME OF CONSTRUCTION.
- MAINTAIN FIRE PROTECTION SYSTEMS IN WORKING ORDER AT ALL TIMES. WHERE A PERMANENT FIRE PROTECTION SYSTEM IS NOT IN PLACE, PROVIDE FIRE EXTINGUISHERS THROUGHOUT WORK AREA PER LOCAL ORDINANCES.
- WHERE LARGER SCALE PLANS OR DETAIL "BLOW-UPS" ARE PROVIDED, REFER TO THOSE LARGER SCALE PLANS/DRAWINGS FOR DETAILED INFORMATION. INFORMATION SHOWN ON LARGER SCALE DRAWINGS TAKES PRECEDENCE OVER SMALLER SCALE PLANS.
- STRUCTURAL STEEL MEMBERS AND PROFILES INDICATED ON ARCHITECTURAL DRAWINGS MAY VARY FROM ACTUAL PROFILES AND SIZES INDICATED ON THE STRUCTURAL DRAWINGS. THE STRUCTURAL DRAWINGS SHALL GOVERN IN THIS INSTANCE. NOTIFY ARCHITECT PROMPTLY IF THIS SITUATION IS NOTED.
- UNLESS NOTED OTHERWISE, OR SPECIFIED BY APPLICABLE BUILDING CODES, MATCH THE COLOR OF ALL DEVICES WITH THE CONSTRUCTION UPON WHICH THEY ARE MOUNTED.
- TYPICAL MATERIALS ARE DENOTED BY THE FOLLOWING TAG TYPE: ->. MATERIAL IDENTIFICATION CODES ARE LISTED ON SHEET A0.02 WITH THEIR CORRESPONDING SPECIFICATION SECTION.
- PROVIDE BACKING FOR ALL EQUIPMENT, DEVICES, AND ACCESSORIES MOUNTED TO CONSTRUCTION INDICATED HEREIN. COORDINATE LOCATION AND SIZE WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND LIFE SAFETY DRAWINGS AS APPROPRIATE.
- WOOD BLOCKING WITHIN THE WALL SYSTEM SHALL BE FIRE RETARDANT TREATED. ALL EXTERIOR WOOD BLOCKING SHALL BE MOISTURE RESISTANT TREATED. WOOD MAY NOT BE USED IN EXPOSED LOCATIONS UNLESS IT IS A FINISH MATERIAL IN A NON-COMBUSTIBLE ASSEMBLY.
- PROVIDE ACCESS DOORS WHERE BUILDING ELEMENTS ARE LOCATED IN INACCESSIBLE CEILING OR WALL SPACES. BUILDING ELEMENTS SPECIFICALLY REQUIRING ACCESS INCLUDE ALL FIRE AND FIRE/SMOKE DAMPERS, VOLUME DAMPERS, FILTERS, VALVES, ELECTRICAL JUNCTION BOXES, AND MOTORS. PROVIDE ADDITIONAL ACCESS DOORS WHERE SHOWN OR SCHEDULED/SPECIFIED. ALL ACCESS DOORS IN FIRE RATED PARTITIONS OR CEILINGS SHALL HAVE A U.L. LISTING AND MUST BE EQUAL TO THE FIRE RATING INDICATED FOR THE ELEMENT IN WHICH THE ACCESS DOOR IS TO BE INSTALLED.

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SUITE 1201
MINNEAPOLIS, MN 55401
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50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Terre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
2D Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEFP ENGINEER : 651.379.9120
MEP Associates a Salas Obrien Company
860 Blue Gentian Rd, Suite 175
Eagan, MN 55121

BUILDING ENCLOSURE CONSULTANT : 612.284.7080
Pie Global
7625 Golden Triangle Drive, Suite T
Eden Prairie, MN 55344

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2021.01 SKA
Project Number Drawn By

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Signature

Typed or Printed Name

Registration Number

SYMBOLS AND GENERAL NOTES

A0.01

SHEET NOTES
 1. OFFSET IMMEDIATELY ADJACENT DOOR OPENINGS 4" INCHES FROM PERPENDICULAR WALL, UNLESS NOTED OTHERWISE (UNO).

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 SUITE 120
 MINNEAPOLIS, MN 55401
 612.359.9430
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50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
 MINNEAPOLIS, MN 55410

CLIENT
 Tertre Rouge LLC / Sotheby's Int. Real Estate
 1000 Twelve Oaks Center Drive Suite 100
 Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
 Larson Engineering Inc.
 3524 Labore Road
 White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
 O2 Design (Oslund and Associates)
 115 N Washington Avenue
 Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
 Meyer Borgman Johnson
 510 Marquette Avenue South
 Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120
 MEP Associates a Salas O'Brien Company
 860 Blue Gentian Rd. Suite 175
 Eagan, MN 55121

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2021.01 Author
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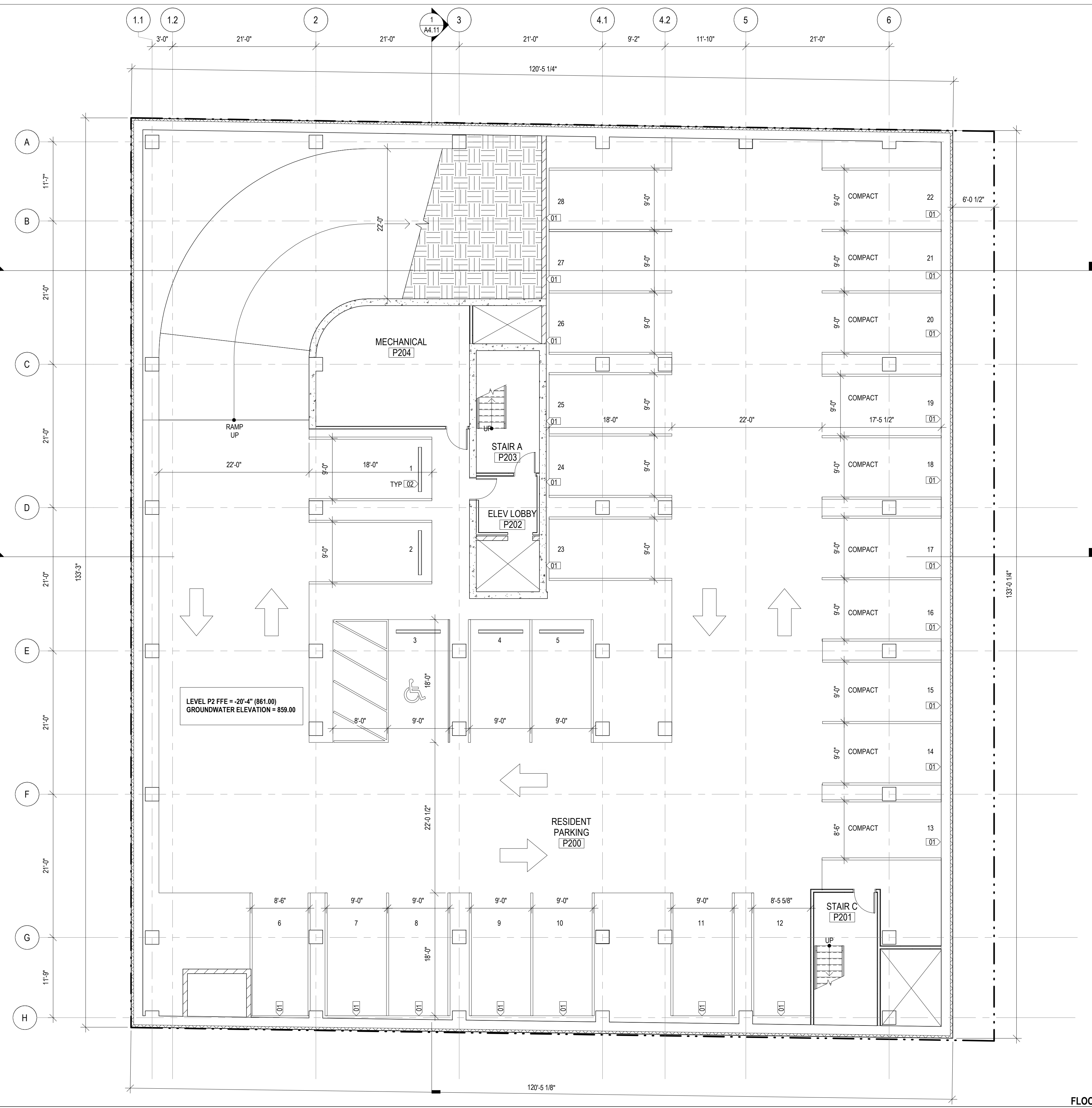
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Registration Number
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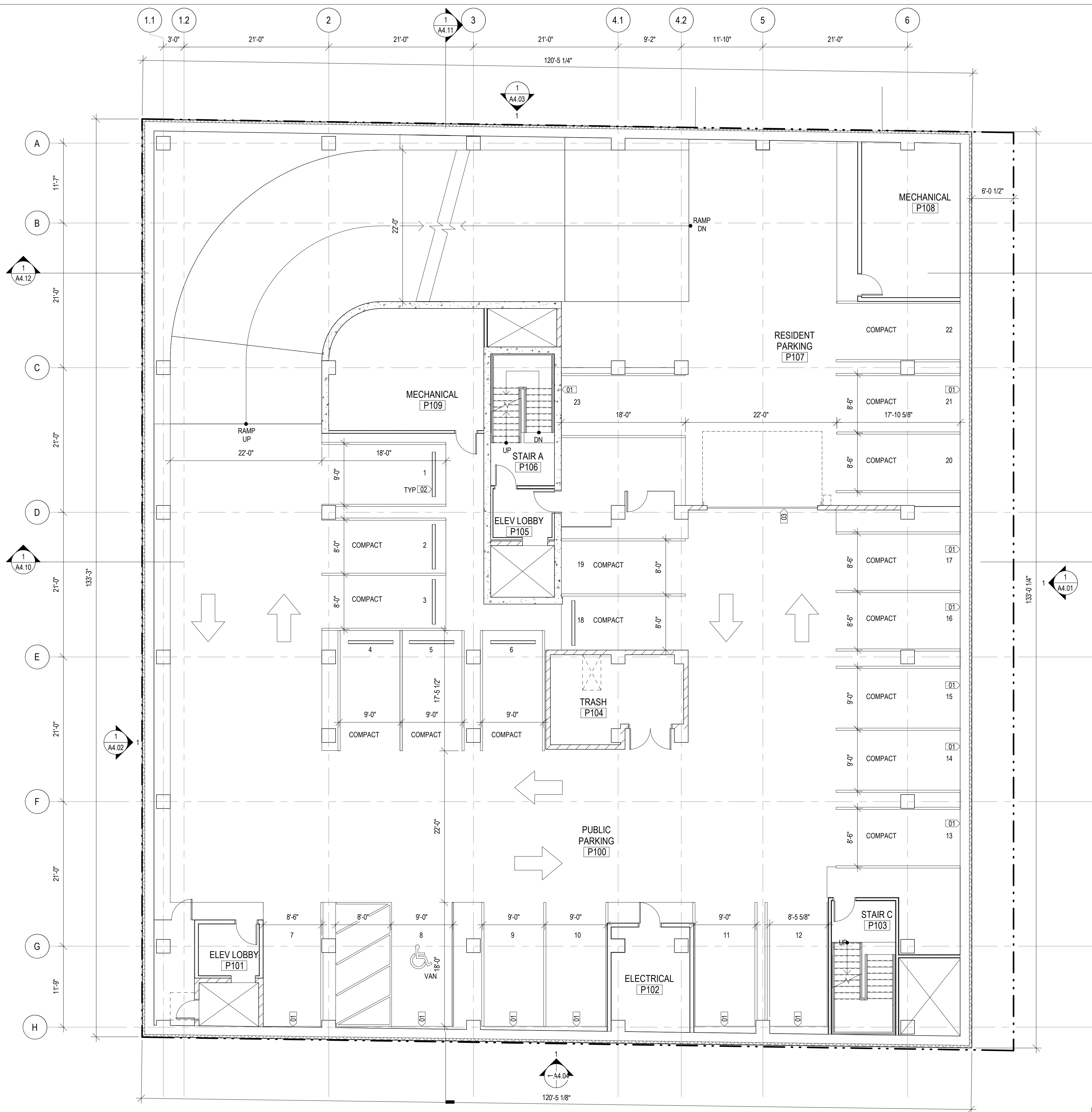
FLOOR PLAN LEVEL P2

A2.00



FLOOR PLAN LEVEL P2 1
 1/8" = 1'-0" A2.00

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A2.01 KEYNOTES	
01	ELECTRIC VEHICLE CHARGING STATION
02	CONCRETE WHEEL STOP
03	GARAGE DOOR, ENTRY TO RESIDENTIAL PARKING

SHEET NOTES

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5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
02 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120
MEP Associates a Salas Obrien Company
860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

BUILDING ENCLOSURE CONSULTANT : 612.284.7080
Pie Global
7625 Golden Triangle Drive, Suite T
Eden Prairie, MN 55344

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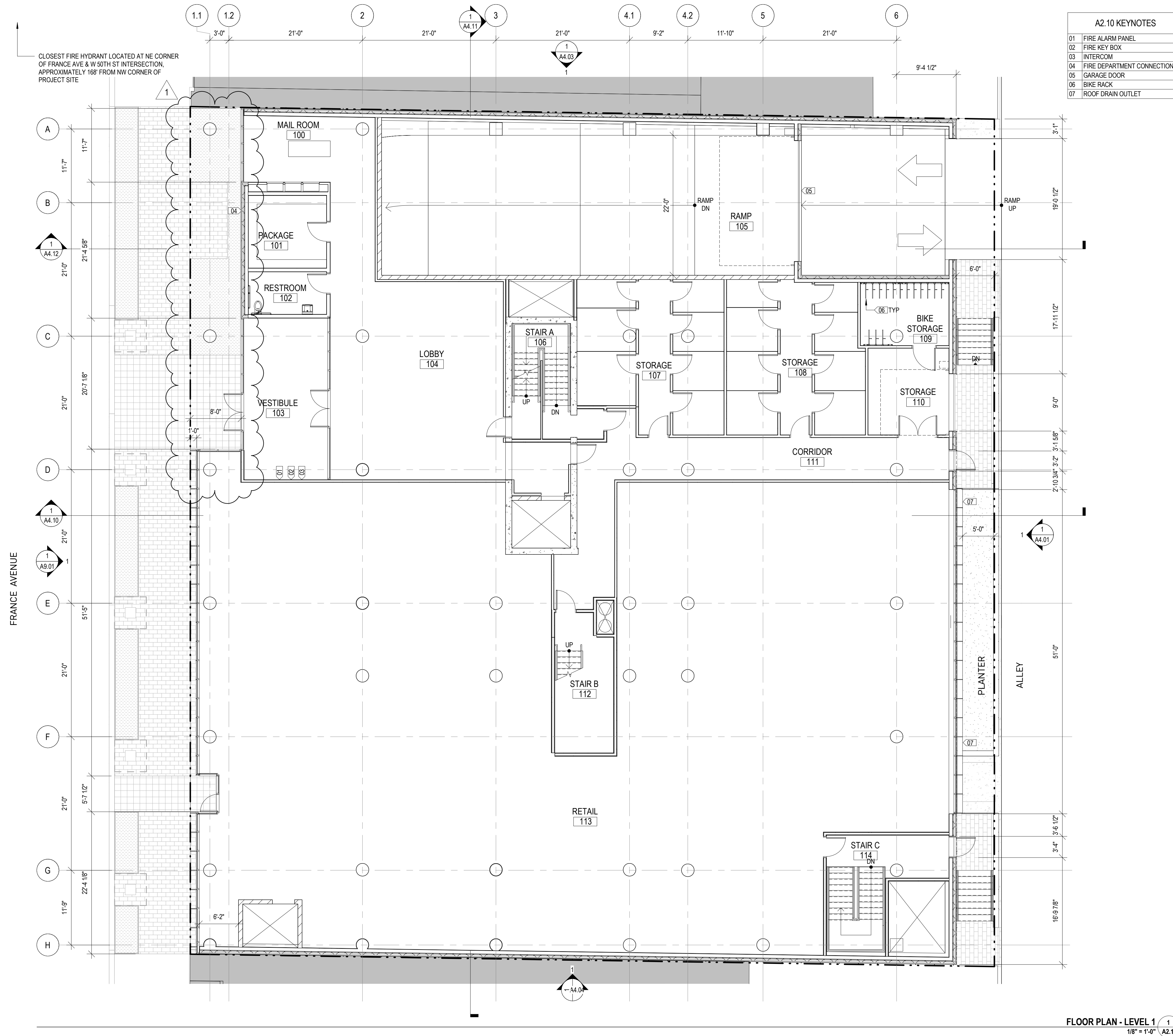
FLOOR PLAN LEVEL P1

A2.01

FLOOR PLAN LEVEL P1
1/8" = 1'-0" A2.01

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6/22/2021 2:54:39 PM



A2.10 KEYNOTES	
01	FIRE ALARM PANEL
02	FIRE KEY BOX
03	INTERCOM
04	FIRE DEPARTMENT CONNECTION
05	GARAGE DOOR
06	BIKE RACK
07	ROOF DRAIN OUTLET

SHEET NOTES

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MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
O2 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEFP ENGINEER : 651.379.9120
MEP Associates a Salas O'Brien Company
860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

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1 LUA SETBACK REVISION	06.23.2021

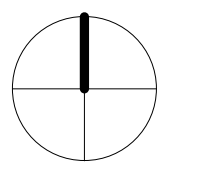
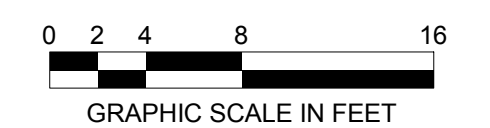
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Project Number	Drawn By

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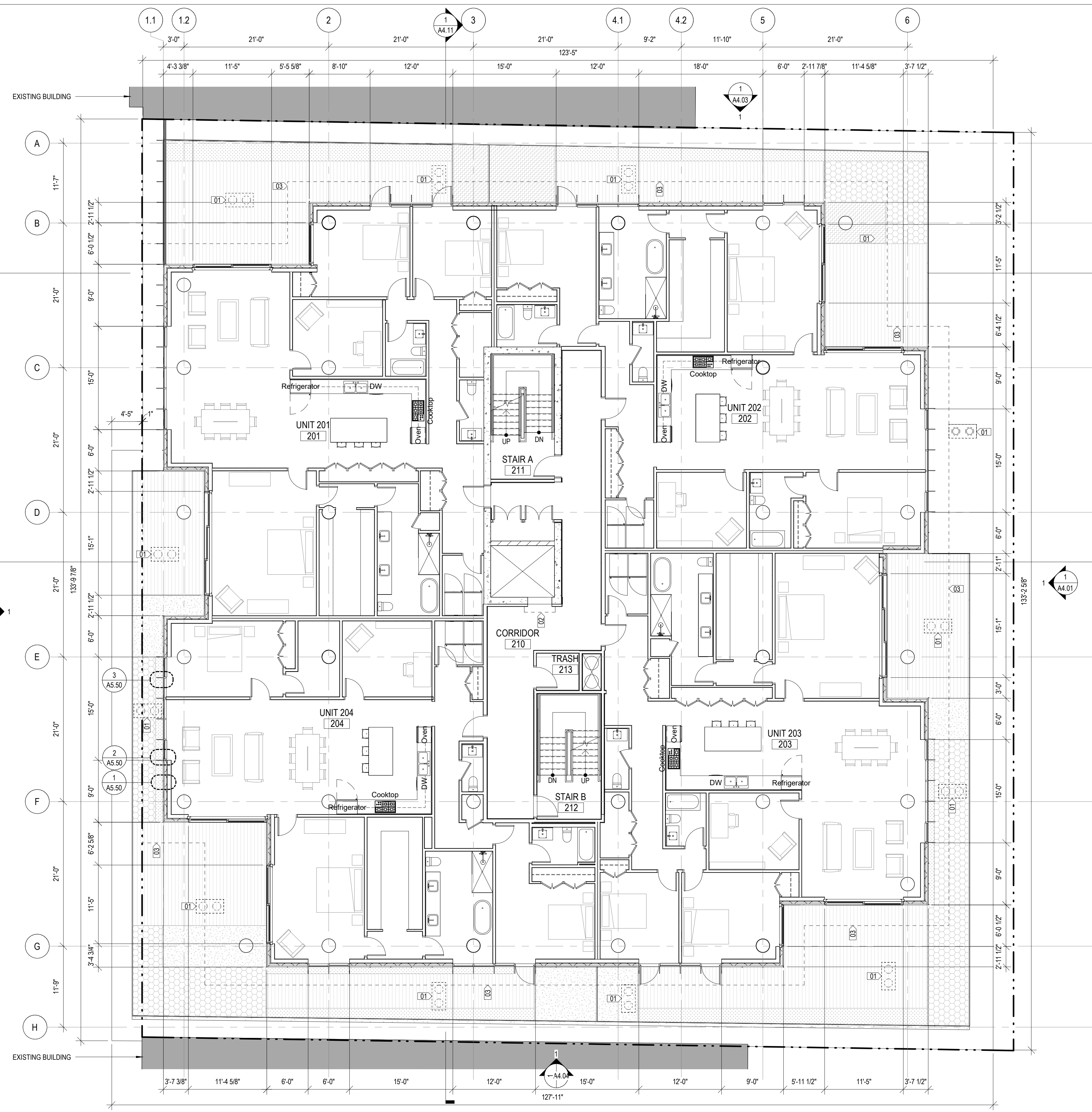
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FLOOR PLAN LEVEL 1

FLOOR PLAN - LEVEL 1
1/8" = 1'-0" A2.10

A2.10



A2.20 KEYNOTES	
01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	DASHED LINE INDICATES EXTENT OF LEVEL ABOVE

SHEET NOTES

1. OFFSET IMMEDIATELY ADJACENT DOOR OPENINGS 4" INCHES FROM PERPENDICULAR WALL, UNLESS NOTED OTHERWISE (UNO).

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50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

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02 Design (Oslund and Associates)
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Minneapolis, MN 55401

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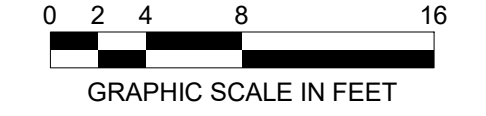
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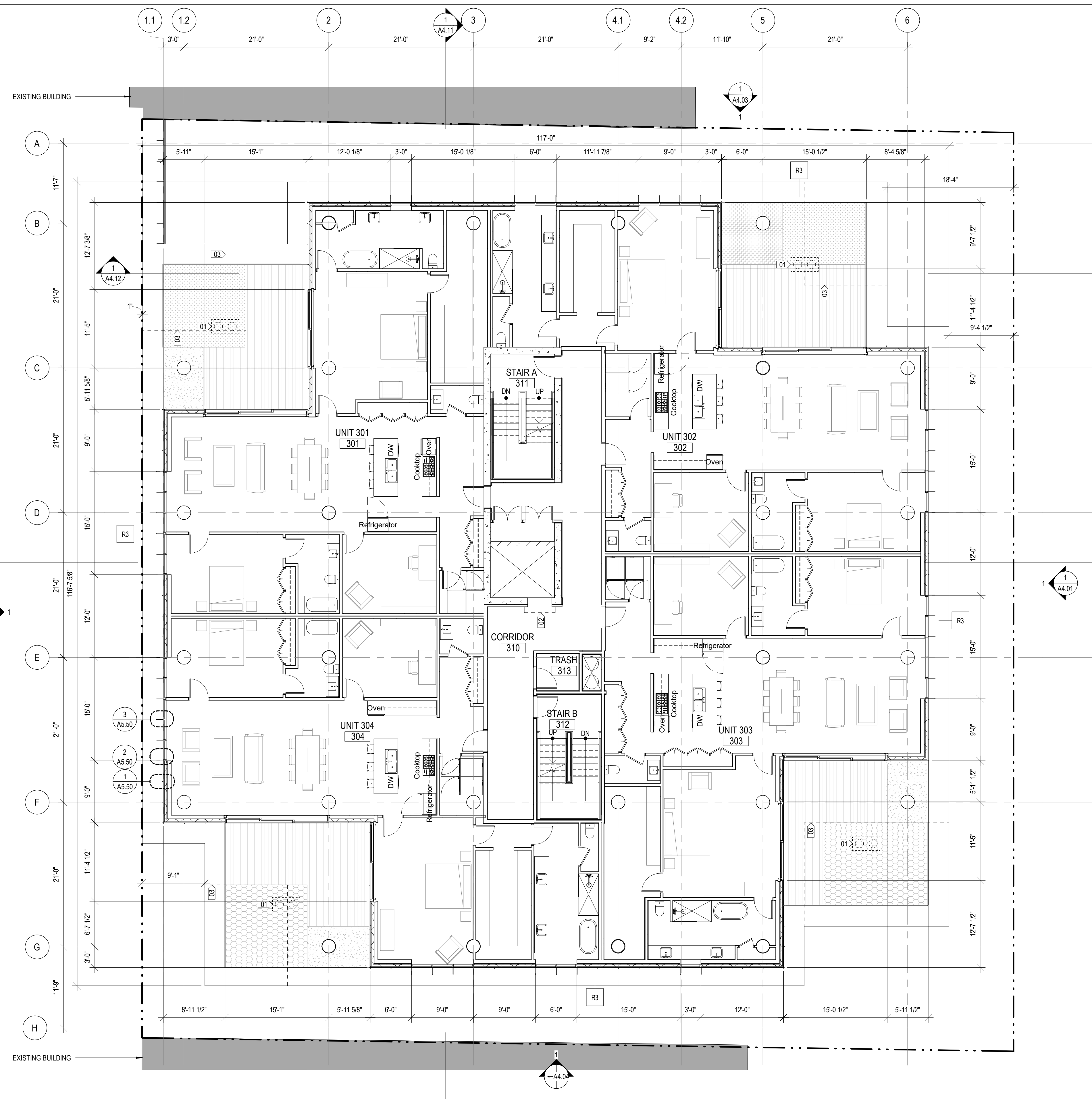


FLOOR PLAN LEVEL 2

A2.20

FLOOR PLAN - LEVEL 2 1
1/8" = 1'-0" A2.20

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A2.30 KEYNOTES

01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	DASHED LINE INDICATES EXTENT OF LEVEL ABOVE

SHEET NOTES

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MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

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3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
02 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
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510 Marquette Avenue South
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860 Blue Gentian Rd. Suite 175
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BUILDING ENCLOSURE CONSULTANT : 612.284.7080
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FLOOR PLAN LEVEL 3

A2.30

FLOOR PLAN - LEVEL 3 1
1/8" = 1'-0" A2.30

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SHEET NOTES

1. OFFSET IMMEDIATELY ADJACENT DOOR OPENINGS 4" INCHES FROM PERPENDICULAR WALL, UNLESS NOTED OTHERWISE (UNO).

A2.40 KEYNOTES

01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	DASHED LINE INDICATES EXTENT OF LEVEL ABOVE

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SUITE 120
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5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
02 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120
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860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

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Pie Global
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Eden Prairie, MN 55344

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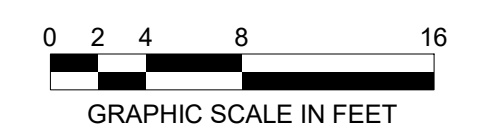
2021.01 Author
Project Number Drawn By

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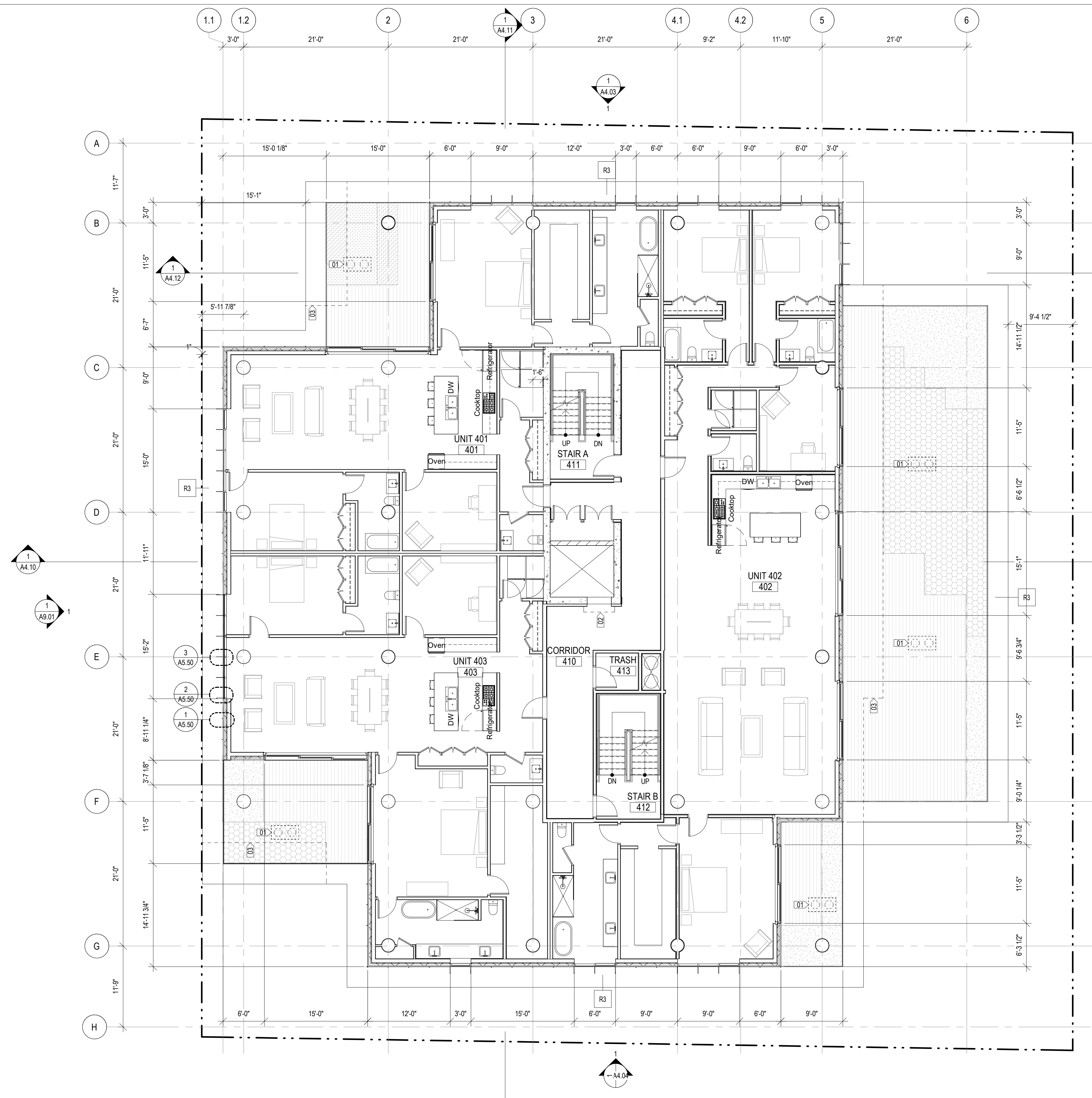
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Registration Number _____



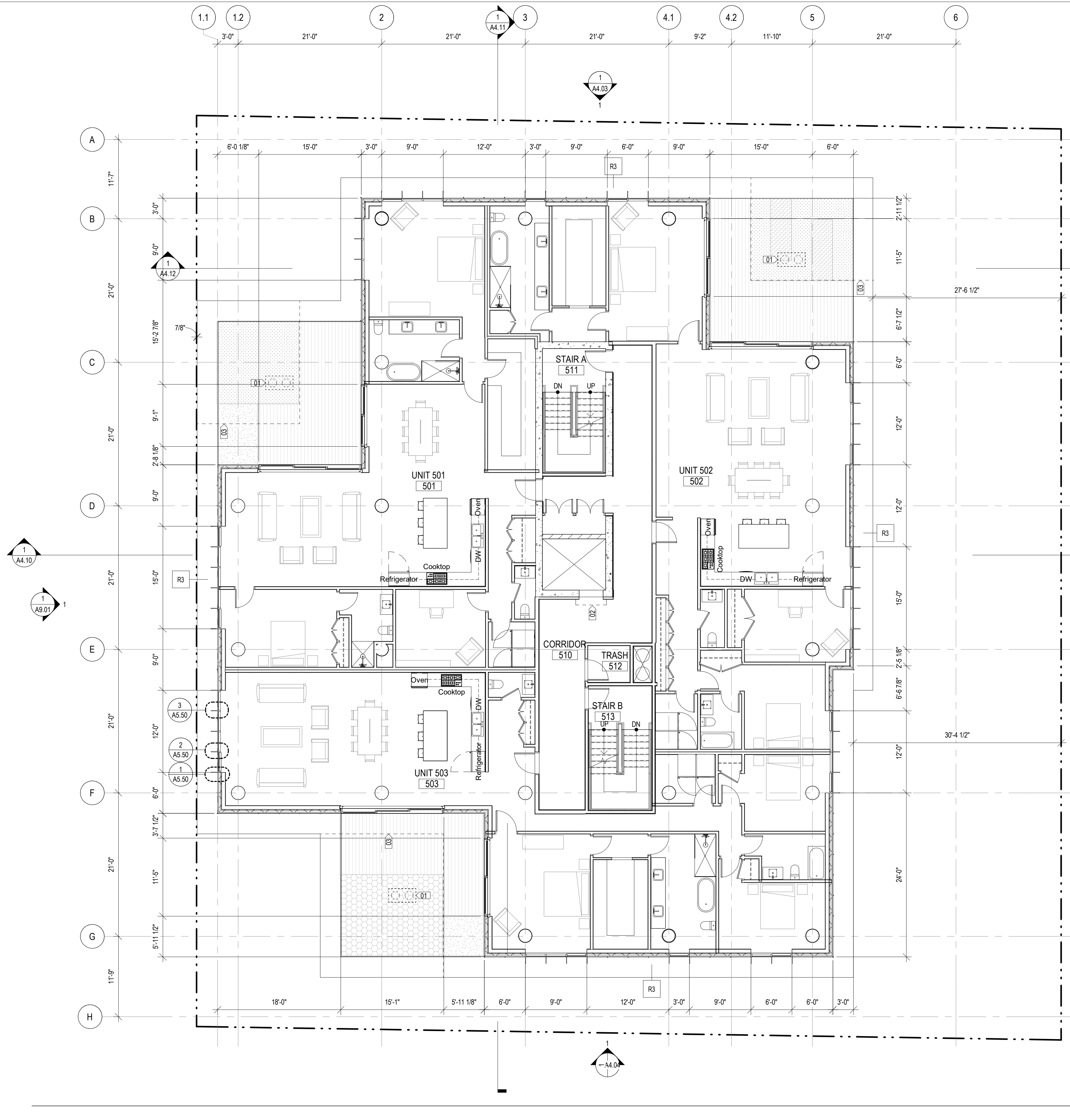
FLOOR PLAN LEVEL 4

A2.40



FLOOR PLAN - LEVEL 4 1
1/8" = 1'-0" A2.40

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A2.50 KEYNOTES	
01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	DASHED LINE INDICATES EXTENT OF LEVEL ABOVE

SHEET NOTES

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SUITE 120
MINNEAPOLIS, MN 55401
612.259.9430
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50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

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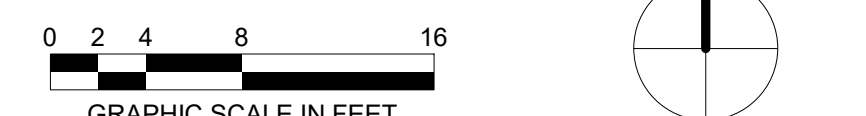
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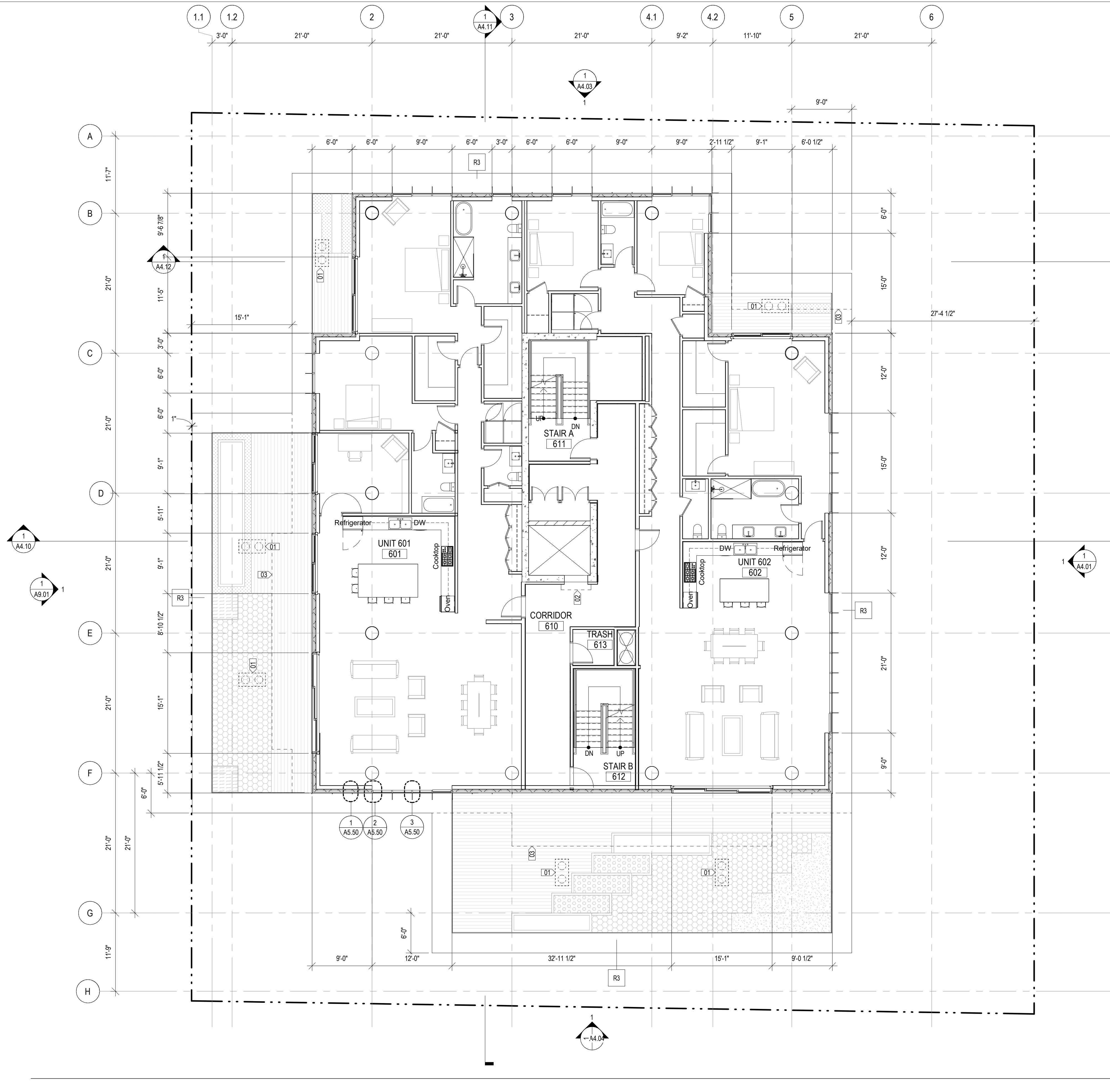


FLOOR PLAN LEVEL 5

A2.50

FLOOR PLAN - LEVEL 5 1
1/8" = 1'-0" A2.50

5/27/2021 4:57:00 PM



A2.60 KEYNOTES	
01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	DASHED LINE INDICATES EXTENT OF LEVEL ABOVE

SHEET NOTES

1. OFFSET IMMEDIATELY ADJACENT DOOR OPENINGS 4" INCHES FROM PERPENDICULAR WALL, UNLESS NOTED OTHERWISE (UNO).

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1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
02 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120
MEP Associates a Salas Obrien Company
860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

BUILDING ENCLOSURE CONSULTANT : 612.284.7080
Pie Global
7625 Golden Triangle Drive, Suite T
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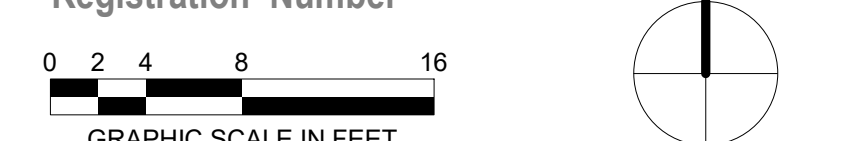
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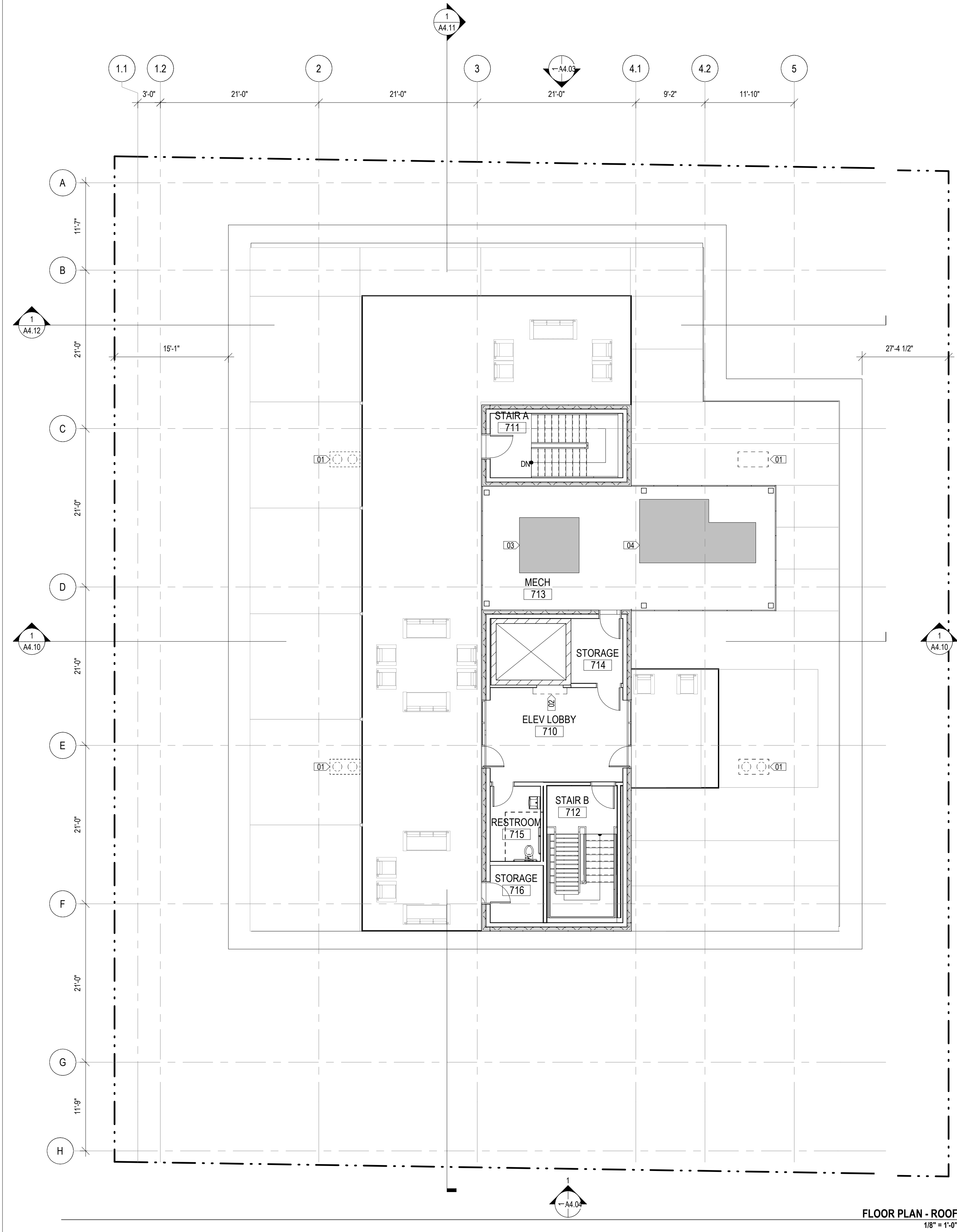


FLOOR PLAN LEVEL 6

A2.60

FLOOR PLAN - LEVEL 6 1
1/8" = 1'-0" A2.60

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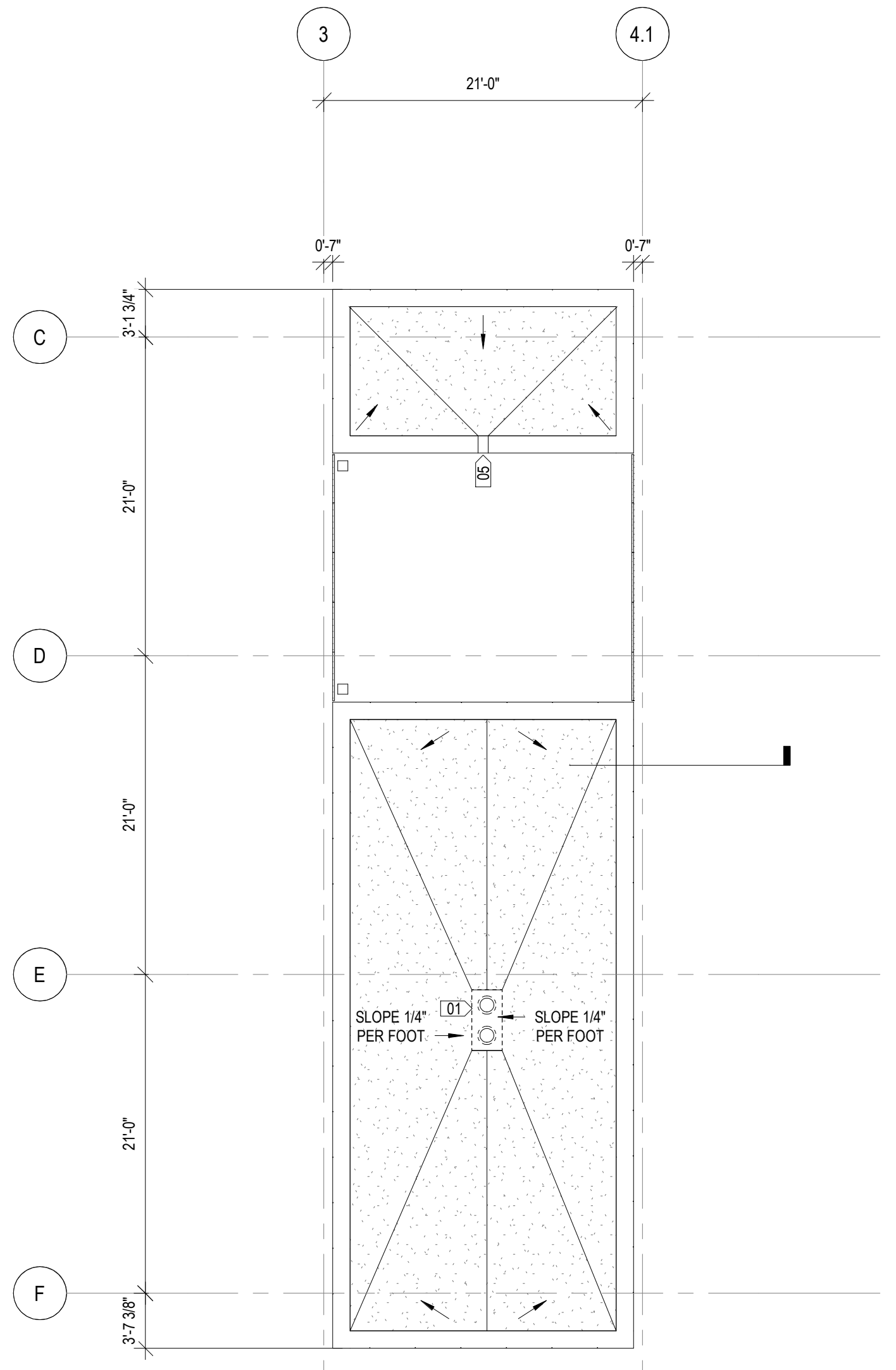


FLOOR PLAN - ROOF
1
1/8" = 1'-0" A2.70

A2.70 KEYNOTES	
01	ROOF DRAIN & OVERFLOW DRAIN
02	ELEVATOR SMOKE CURTAIN
03	CHILLER
04	CONDENSING UNIT
05	SCUPPER & DOWNSPOUT

SHEET NOTES

1. OFFSET IMMEDIATELY ADJACENT DOOR OPENINGS 4" INCHES FROM PERPENDICULAR WALL, UNLESS NOTED OTHERWISE (UNO).



FLOOR PLAN - UPPER ROOF
2
1/8" = 1'-0" A2.70

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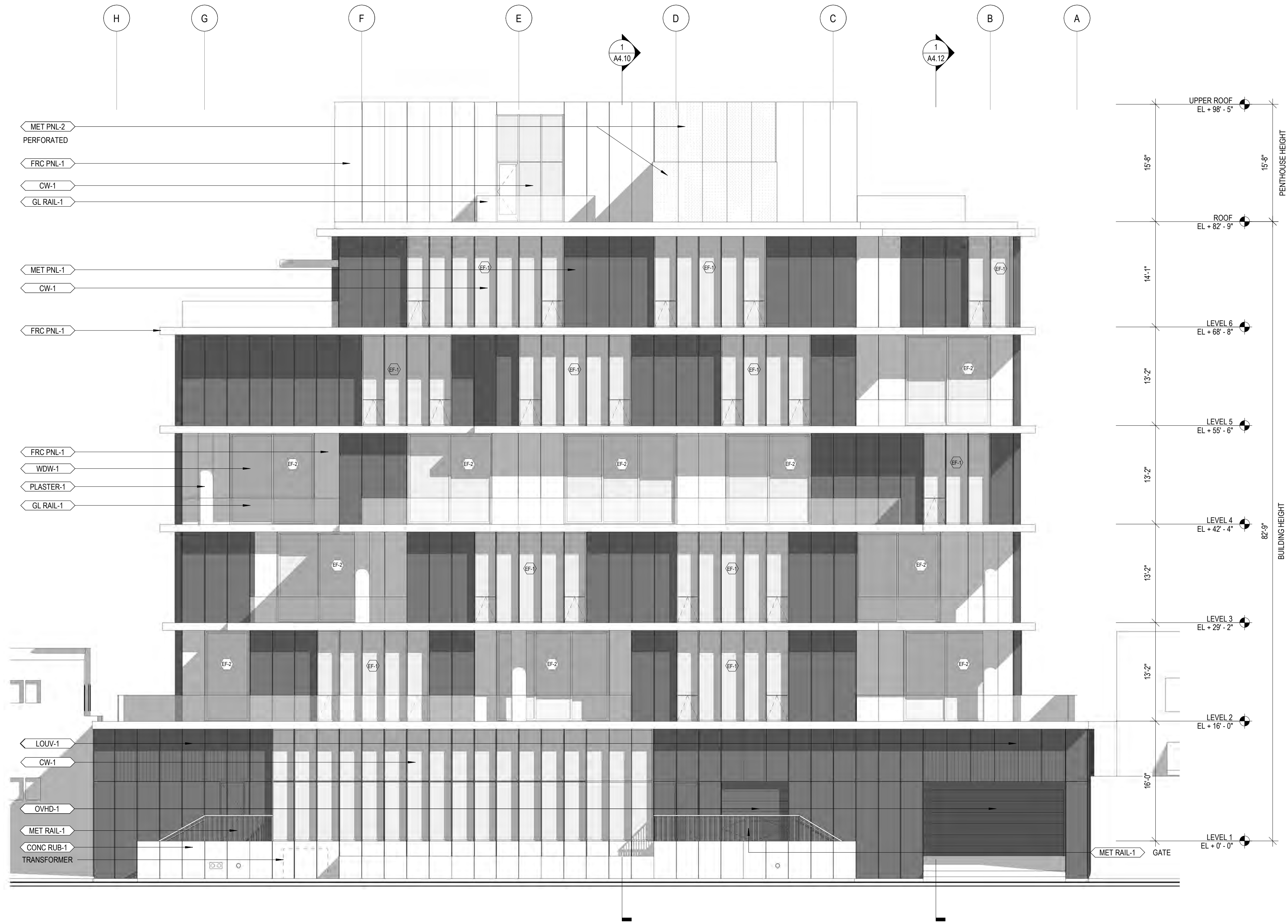
ROOF PLAN

A2.70

5/27/2021 4:57:06 PM

MATERIAL PERCENTAGES

ORIENTATION	GLASS %	MET PNL-1 %	FRC PNL-1 %
NORTH	32%	44%	24%
EAST	34%	40%	26%
SOUTH	27%	47%	26%
WEST	44%	23%	33%



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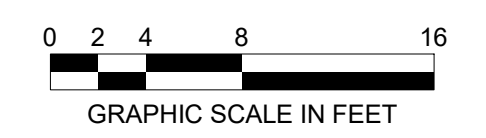
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EXTERIOR ELEVATIONS

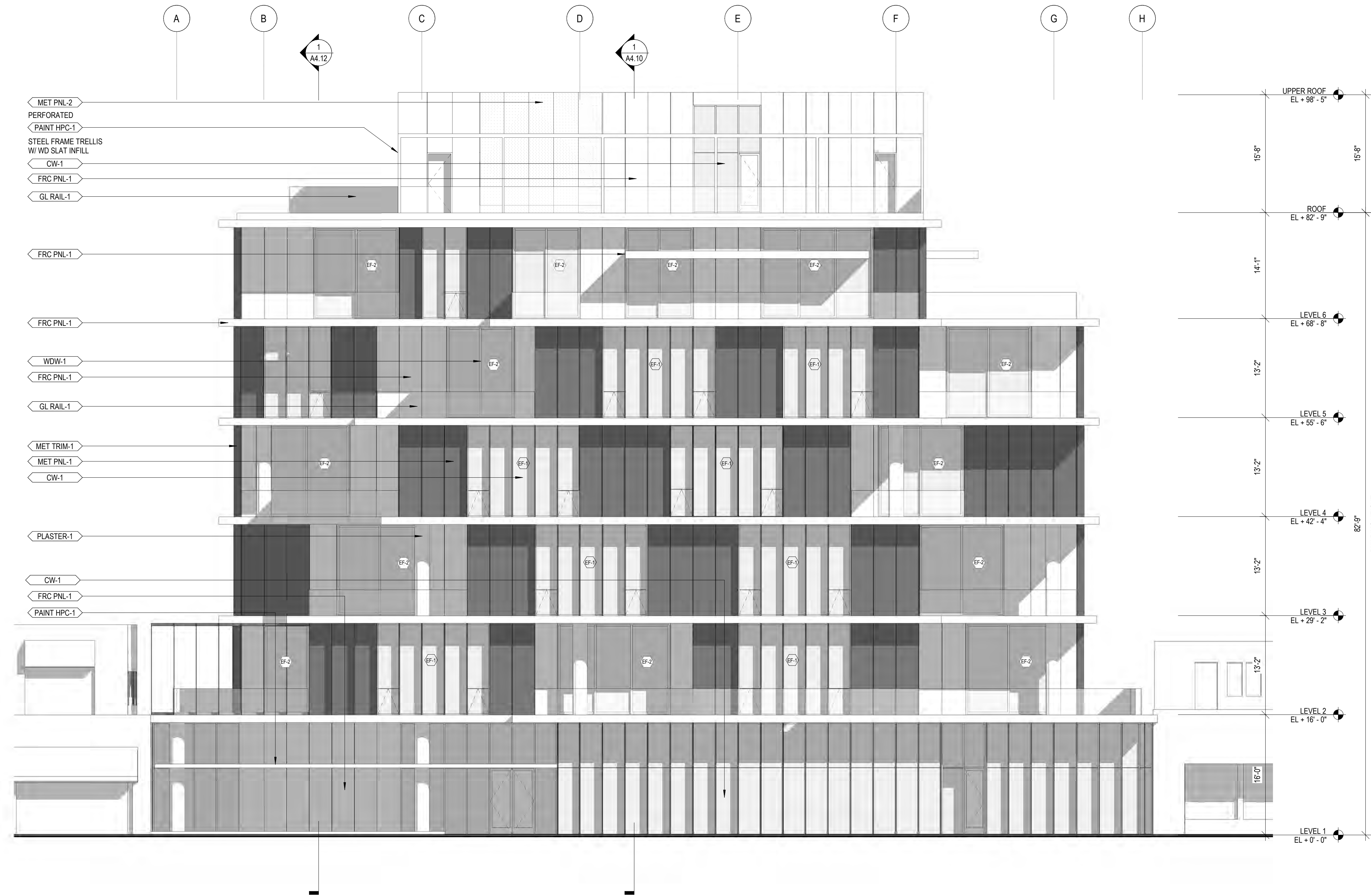
A4.01

EAST ELEVATION 1
1/8" = 1'-0" A4.01

5/27/2021 4:57:22 PM

MATERIAL PERCENTAGES

ORIENTATION	GLASS %	MET PNL-1 %	FRC PNL-1 %
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EXTERIOR ELEVATIONS

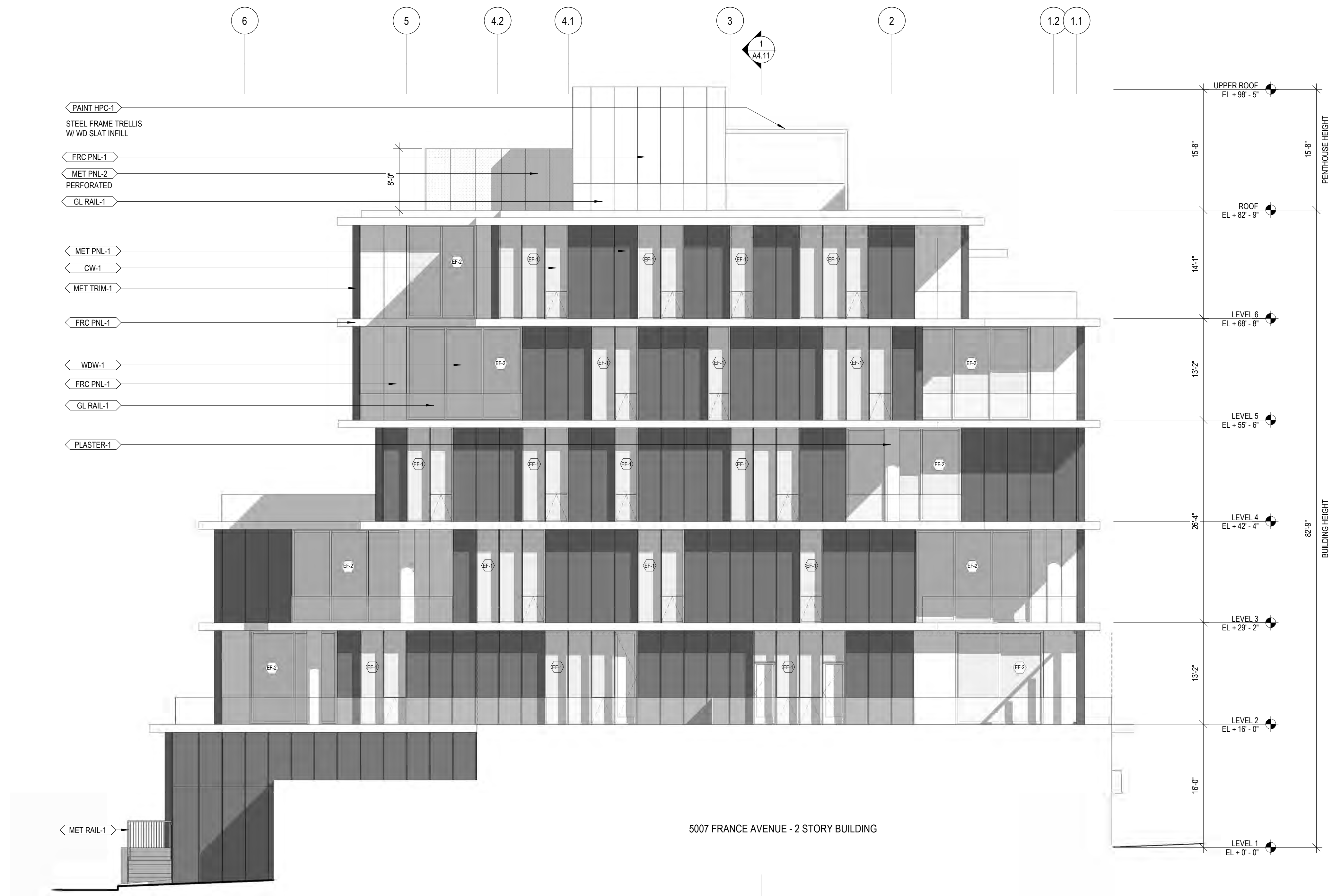
A4.02

WEST ELEVATION 1
1/8" = 1'-0" A4.02

5/27/2021 4:57:38 PM

MATERIAL PERCENTAGES

ORIENTATION	GLASS %	MET PNL-1 %	FRC PNL-1 %
NORTH	32%	44%	24%
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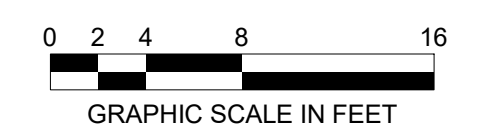
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EXTERIOR ELEVATIONS

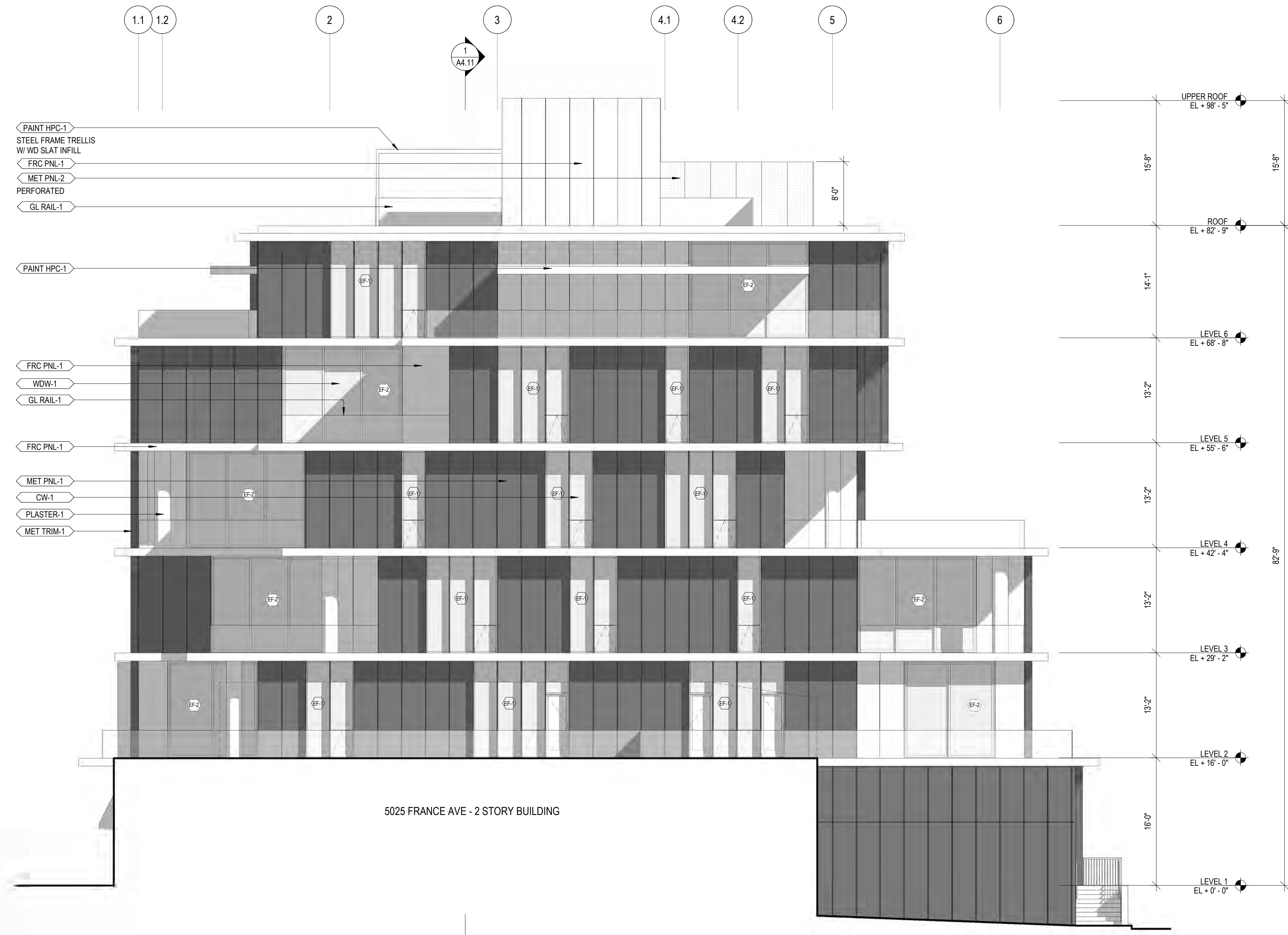
A4.03

NORTH ELEVATION 1
1/8" = 1'-0" A4.03

5/27/2021 4:57:59 PM

MATERIAL PERCENTAGES

ORIENTATION	GLASS %	MET PNL-1 %	FRC PNL-1 %
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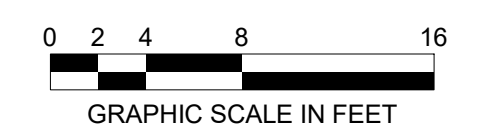
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EXTERIOR ELEVATIONS

A4.04

SOUTH ELEVATION 1
1/8" = 1'-0" A4.04

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AXONOMETRIC VIEWS

A4.05



AXONOMETRIC VIEW - NORTHWEST - FOR REFERENCE ONLY 1
A4.05



AXONOMETRIC VIEW - SOUTHEAST - FOR REFERENCE ONLY 2
A4.05

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CIVIL ENGINEER
Company Name
Street Address
City, State Zip Code
Phone Number

LANDSCAPE ARCHITECT
Company Name
Street Address
City, State Zip Code
Phone Number

STRUCTURAL ENGINEER
Company Name
Street Address
City, State Zip Code
Phone Number

MEP ENGINEER
Company Name
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Phone Number

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MATERIAL SAMPLES

A9.00

LANDSCAPE MATERIAL PALETTE

FULL SUN



Sedums



Native Perennials and Grasses



Ornamental Trees



PARTIAL SHADE



Burgundy Glow Ajuga



Japanese Sedge Grass



Evergreens - Arborvitae

SHADE



Japanese Pachysandra



Astilbe



Japanese Forest Grass



Japanese Yew

BUILDING MATERIAL PALETTE



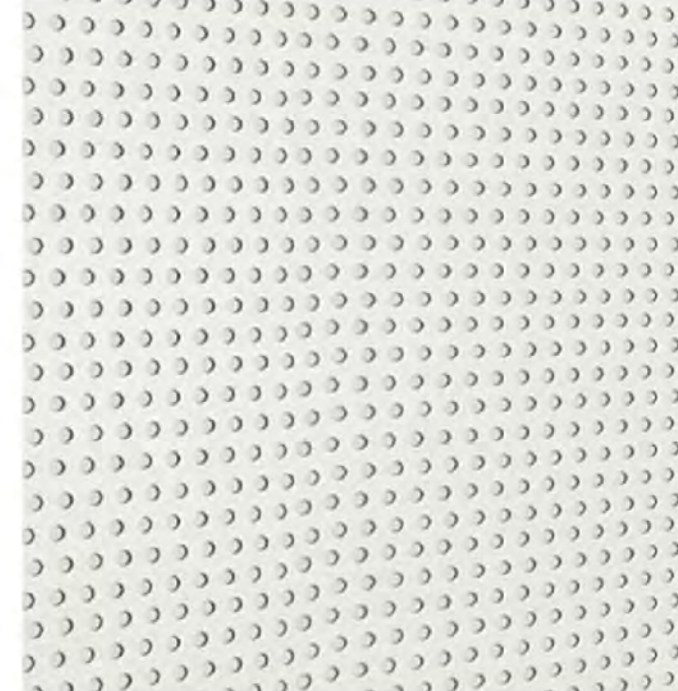
MET PNL-1
Basis of Design: VMZinc Composite Panels
Finish: Anthrazinc



PLASTER-1
Basis of Design: Stolit Milano
Color: White, Texture: Fine



WD DECK-1
Basis of Design: Solid Ipe Decking
Color: Natural Grey



MET PNL-2
Basis of Design: Perforated Aluminum Panel
Color: White



FRC PNL-1
Basis of Design: Taktl High Performance Concrete Panel
Color: White, Texture: Smooth



GL-1(T)
Basis of Design: Solarban 72 Starphire Solar Control
Color: Clear



PAVER-1
Basis of Design: Unilock Promenade Plank Pavers
Color: Steel Grey



PAVER-2
Basis of Design: Belgard Quarziti 2.0 Porcelain Pavers
Color: Glacier

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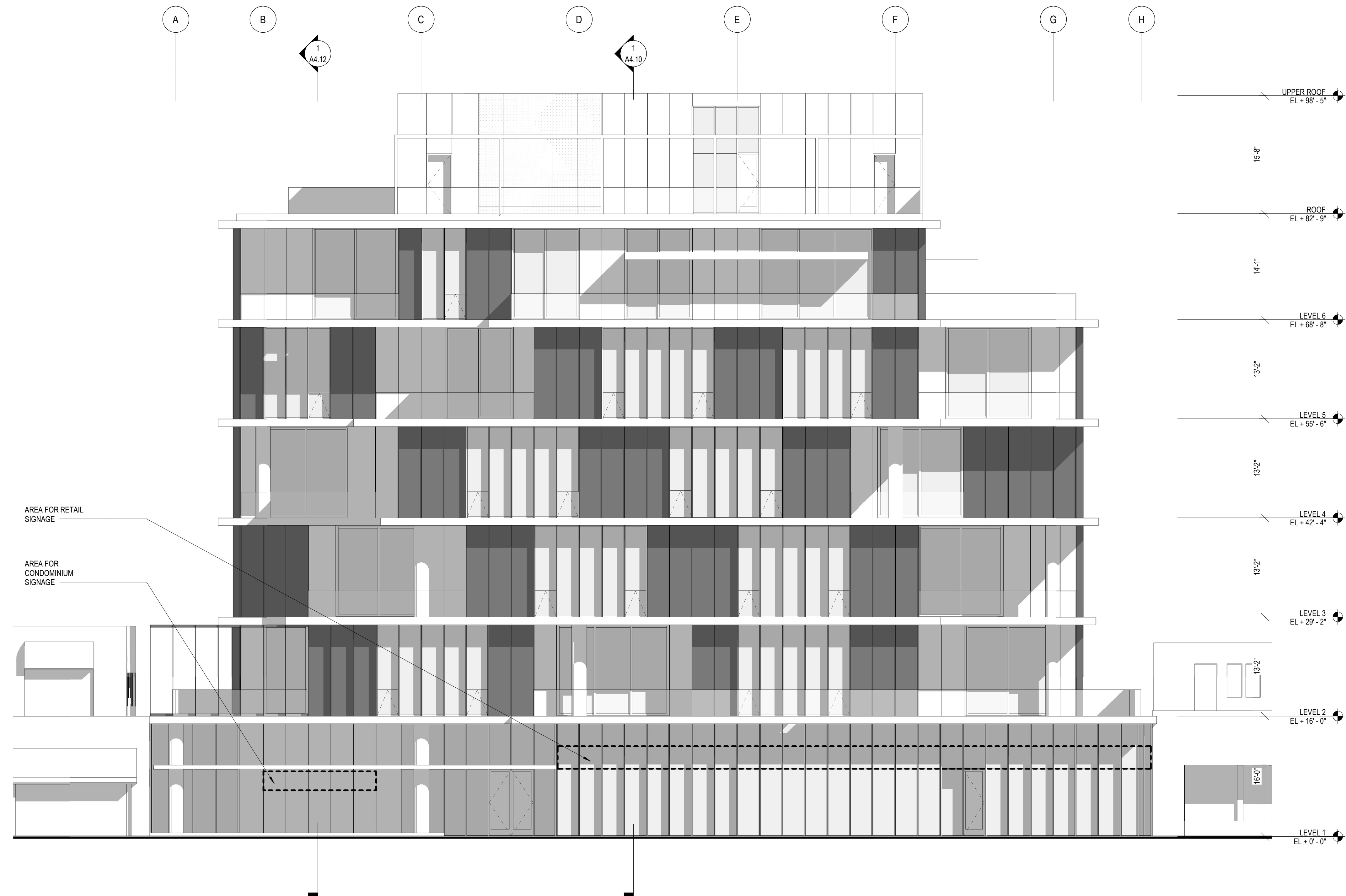
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Registration Number

SIGNAGE PLACEMENT

A9.01



WEST ELEVATION SIGNAGE PLACEMENT 1
1/8" = 1'-0" A9.01

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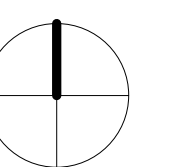
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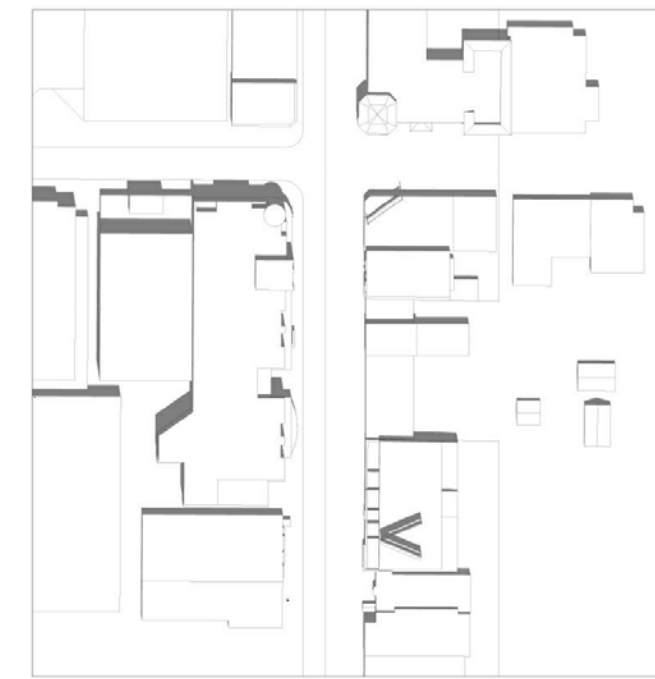
SHADOW STUDIES

A9.02

SOLAR STUDY - CURRENT SITE CONDITIONS



JUNE 21 (9 AM)



JUNE 21 (NOON)



JUNE 21 (3 PM)



SEPTEMBER 22 (9 AM)



SEPTEMBER 22 (NOON)



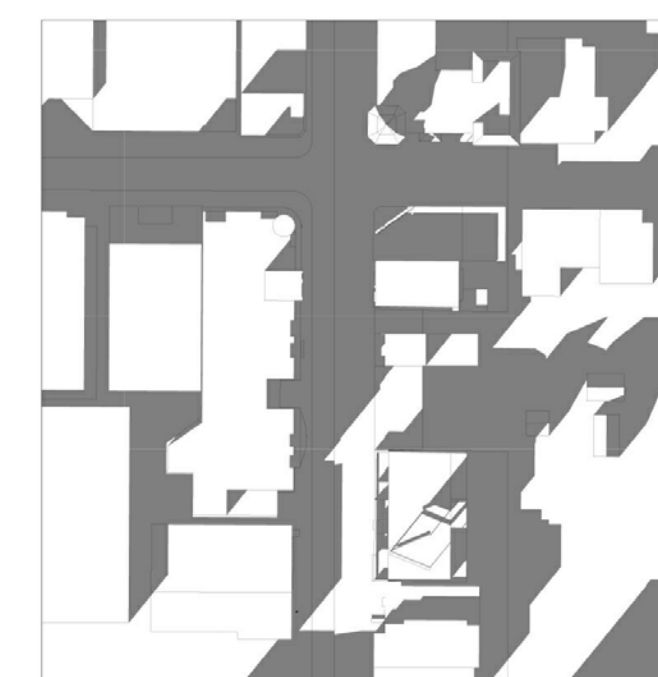
SEPTEMBER 22 (3 PM)



DECEMBER 21 (9 AM)

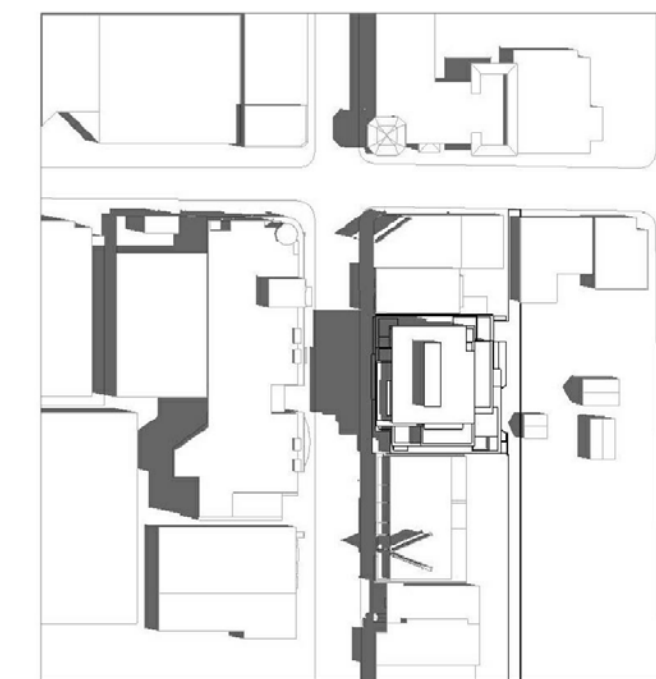


DECEMBER 21 (NOON)

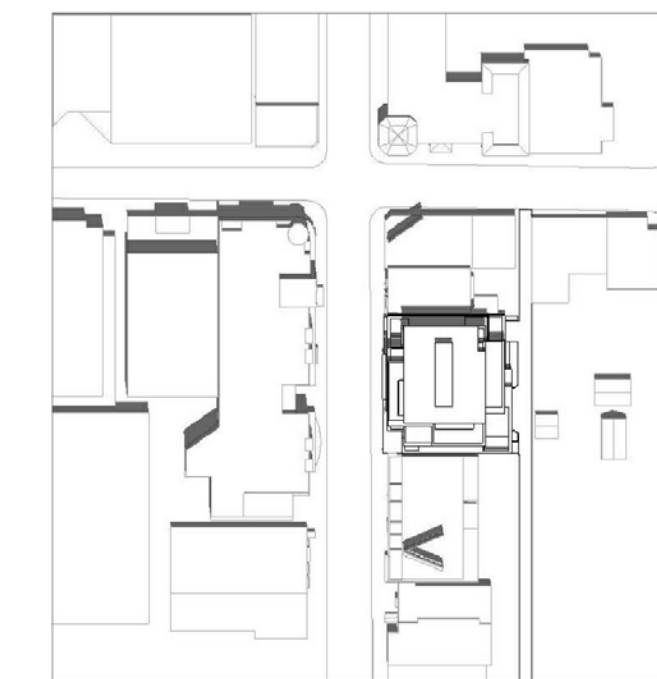


DECEMBER 21 (3 PM)

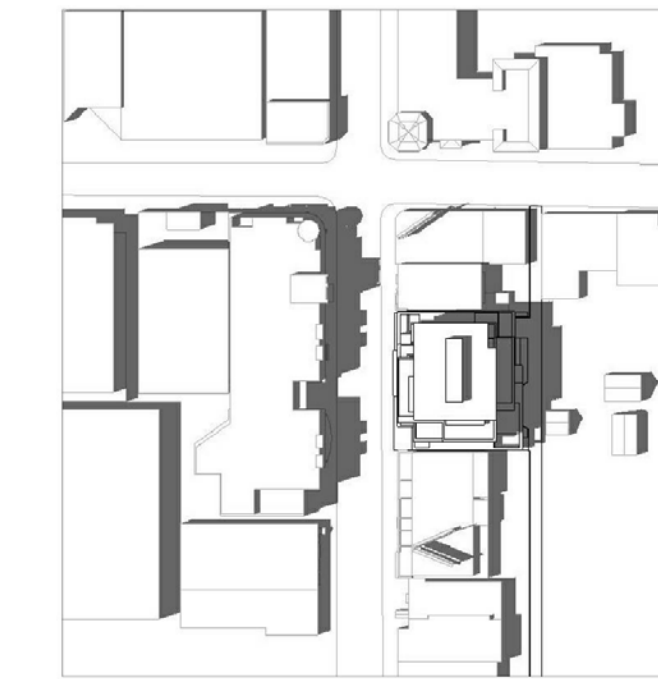
SOLAR STUDY - NEW BUILDING MASS



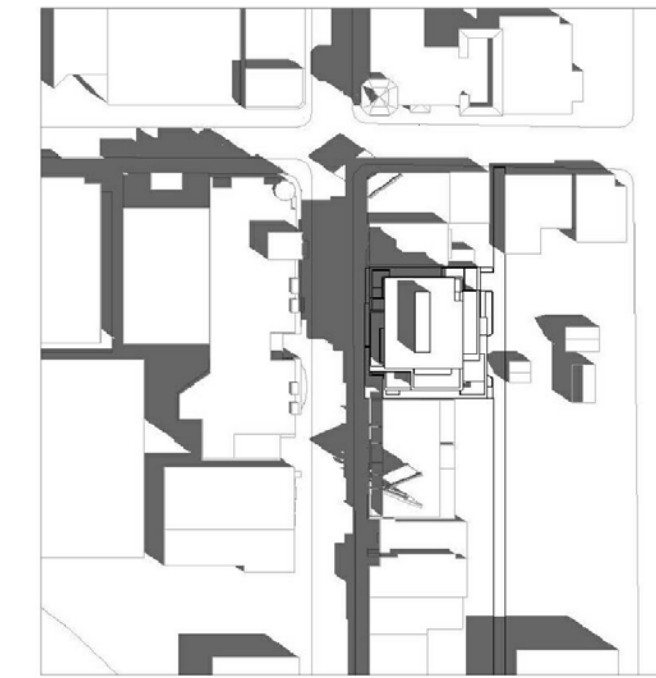
JUNE 21 (9 AM)



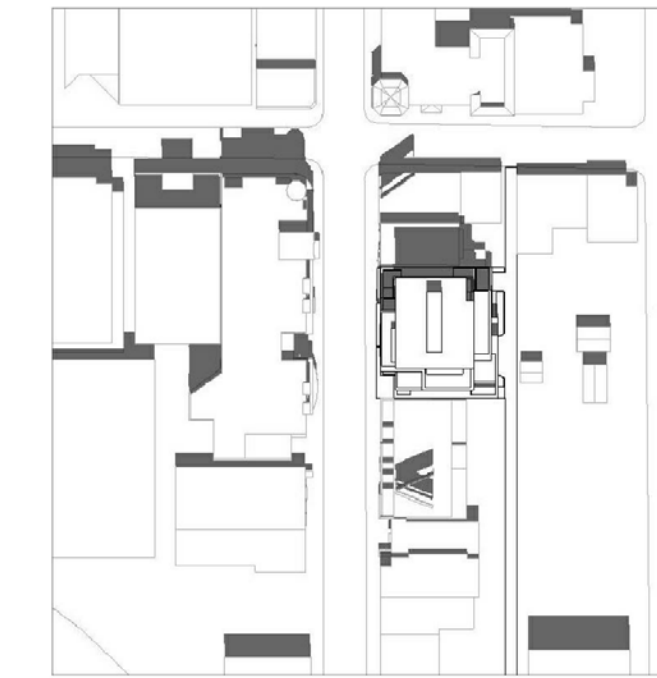
JUNE 21 (NOON)



JUNE 21 (3 PM)



SEPTEMBER 22 (9 AM)



SEPTEMBER 22 (NOON)



SEPTEMBER 22 (3 PM)



DECEMBER 21 (9 AM)



DECEMBER 21 (NOON)



DECEMBER 21 (3 PM)

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SITE PHOTOS

A9.03



NW Site Corner



SW Site Corner



SE Site Corner



NE Site Corner



France Avenue Existing Elevation

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SNOW KREILICH ARCHITECTS

219 NORTH SECOND STREET
SUITE 100
MINNEAPOLIS, MN 55401
612.269.9630
WWW.SNOWKREILICH.COM

50TH & FRANCE DEVELOPMENT

5011-5023 FRANCE AVENUE
MINNEAPOLIS, MN 55410

CLIENT
Tertre Rouge LLC / Sotheby's Int. Real Estate
1000 Twelve Oaks Center Drive Suite 100
Wayzata, MN 55391

CIVIL ENGINEER : 651.481.9201
Larson Engineering Inc.
3524 Labore Road
White Bear Lake, MN, 55110

LANDSCAPE ARCHITECT : 612.359.9144
O2 Design (Oslund and Associates)
115 N Washington Avenue
Minneapolis, MN 55401

STRUCTURAL ENGINEER : 612.338.0713
Meyer Borgman Johnson
510 Marquette Avenue South
Minneapolis, MN 55402

MEPP ENGINEER : 651.379.9120
MEP Associates a Salas Obrien Company
860 Blue Gentian Rd. Suite 175
Eagan, MN 55121

BUILDING ENCLOSURE CONSULTANT : 612.284.7080
Pie Global
7625 Golden Triangle Drive, Suite T
Eden Prairie, MN 55344

**NOT FOR CONSTRUCTION
FOR REFERENCE ONLY**

MINNEAPOLIS PDR SUBMITTAL #1 06.03.2021

2021.01 Author
Project Number Drawn By

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the State of Minnesota.

Signature

Typed or Printed Name

Registration Number

RENDERINGS

A9.04



VIEW FROM SOUTH
(ON FRANCE AVE)



WEST STREET ELEVATION/CONTEXT



VIEW FROM INTERSECTION
(50TH ST W & FRANCE AVE)



CLOSE UP VIEW OF
ROOF TERRACES

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SUITE 120
MINNEAPOLIS, MN 55401
612.259.9430
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A9.05